

RIOT GAMES

Riot Games Seattle - Exterior Upgrades

05/05/2023 - ISSUE CD 50%
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10/06/2023 - PLAN REVIEW CORRECTIONS

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#RIOT GAMES

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FIRE PROTECTON NOTES

- 1 PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATINGS OF NOT LESS THAN 2-A10BC WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR...
2 PROVIDE EXIT SIGN WITH 4" LETTERS OVER REQUIRED EXITS...
3 PROVIDE EMERGENCY LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL...
4 MAINTAIN AISLES AT LEAST 44" WIDE AT PUBLIC AREAS...
5 EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT...
6 DOORS OPENING INTO REQUIRED RATED FIRE RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A RATINGS AS REQUIRED...
7 FIRE RATED DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED...
8 EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS...
9 INTERIOR WALL & CEILING FINISHES SHALL BE CLASSIFIED INTO THE FOLLOWING CATEGORIES...
9A CLASS A: FLAME SPREAD INDEX 0-25 & SMOKE DEVELOPED INDEX 0-450...
9B CLASS B: FLAME SPREAD INDEX 26-75 & SMOKE DEVELOPED INDEX 0-450 AND...
9C CLASS C: FLAME SPREAD INDEX 76-200 & SMOKE DEVELOPED INDEX 0-450...
10 COMBUSTIBLE DECORATIVE MATERIALS OTHER THAN VEGETATION (CURTAINS, DRAPES, SHADES, HANGINGS, ETC) SHALL COMPLY WITH 2018 IBC 906...
11 PERMETE FIRE DAMPERS, DOORS, OR FIRE-SMOKE DAMPERS AS REQUIRED...
12 STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH SEATTLE FIRE CODE REGULATIONS...
13 WOOD BLOCKING, WHERE PERMITTED, SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS...
14 EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEMS AS REQUIRED TO PROVIDE AN APPROVED FIRE/LIFE SAFETY SYSTEM...
15 LOCATE THE CENTER OF FIRE ALARM INITIATING DEVICES AS REQUIRED PER 2009 ICC A117.1 ABOVE THE LEVEL OF THE FLOOR...
16 EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED...
17 EXTEND OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEMS AS REQUIRED TO PROVIDE AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM...
18 AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL PROPRIETARY OR REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION...
19 PROVIDE EXIT SIGNS, EMERGENCY LIGHTING, FIRE EXTINGUISHERS, FIRE DEPT LOCK BOX (AT STAIRWELL AND EXTERIOR EGRESS DOORS) AND ADDRESS POSTING LOCATIONS TO BE VERIFIED IN FIELD BY FIRE INSPECTOR...
20 THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS APPLIED AT LATCH SIDE OF DOOR...
21 EXIT SIGNS, INTERNAL OR EXTERNAL, SHALL BE ILLUMINATED AT ALL TIMES AND PROVIDED WITH AN EMERGENCY ELECTRICAL SYSTEM FROM STORAGE BATTERIES...
22 PROVIDE AUDIO VISUAL CUTOFF RELAYS IN AREAS OF LOUD MUSIC AND/OR AREAS WHERE SOMEONE COULD BE DISTRACTED BY NON-EMERGENCY SOUNDING EQUIPMENT.

POWER AND COMMUNICATION NOTES

- 1 PRIOR TO CORING SLAB, COORDINATE AND REVIEW LOCATIONS WITH OWNER, ARCHITECT, ELECTRICAL ENGINEER, AND OWNERS FURNITURE, IT, AND AV VENDORS...
2 GC TO COORDINATE INSTALLATION OF FURNITURE, MILLWORK, AV, TELECOMMUNICATIONS, DATA AND SECURITY SYSTEMS WITH ARCHITECT, OWNER, AND OWNERS VENDORS...
3 VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION...
4 VERIFY MOUNTING REQUIREMENTS OF ELECTRICAL, TELEPHONE AND OTHER EQUIPMENT...
5 GANG ADJACENT LIGHT SWITCHES AND COVER WITH A SINGLE PLATE...
6 PROVIDE LIGHT SWITCHING IN CONFORMANCE WITH LOCAL JURISDICTION REQUIREMENTS AND PROJECT LEED GOALS...
7 MOUNT STANDARD WALL OUTLETS, SWITCHES AND THERMOSTATS AT HEIGHTS...
8 INDICATED DIMENSIONS ARE TO THE CENTER LINE OF OUTLET OR SWITCH OR CLUSTER OF OUTLETS OR SWITCHES...
9 INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES...
10 PROVIDE ONE-PIECE TYPE GANG COVER PLATES...
11 IDENTIFY DEDICATED OR ISOLATED GROUND ELECTRICAL OUTLETS WITH A RED DOT...
12 ALL OUTLETS SHOWN ARE NEW U.O.N. ALL NEW ELECTRICAL OUTLETS TO BE INSTALLED @ 18" A.F.F. TO COMPLY WITH TABLE 24 REQUIREMENTS, U.O.N...
13 INSTALL ADJACENT TELEPHONE & ELECTRICAL OUTLETS AT 6" ON CENTER, U.O.N...
14 ALL NEW CIRCUITS SHALL BE LABELED ON THE PROPER BUILDING ELECTRICAL PANEL DIRECTORIES...
15 ALL CIRCUITING SHALL BE AS SPECIFIED ON ENGINEERING DRAWINGS...
16 CONDUIT ABOVE CEILING MUST BE SELF-SUPPORTING...
17 CONDUIT ABOVE CEILING TO BE HELD 8" MIN. ABOVE GRID...
18 ALL CONDUIT RUN ABOVE CEILING SHALL BE STEEL CONDUIT...
19 WHERE ELECTRICAL WORK IS SPECIFIED IN CONJUNCTION WITH CABINET WORK...
20 GC TO COORDINATE ALL DEVICE LOCATIONS FROM ELECTRICAL, AV, MECHANICAL, IT AND OTHER PLANS...
21 PROVIDE PULL STRINGS IN ALL EMPTY CONDUIT AND J-BOXES.

FINISH NOTES

- 1 ALL WALLS, FLOORS AND CEILING FINISHES SHALL COMPLY WITH SECTION 2018 IBC SECTION 803 & 804...
2 ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES...
3 REPAIR EXISTING SURFACES TO REPAIR AS REQUIRED FOR APPLICATION OF NEW FINISHES...
4 PRIOR TO PURCHASE OR INSTALLATION OF ANY FINISH MATERIALS, SUBMIT SAMPLES TO ARCHITECT FOR REVIEW...
5 COORDINATE INSTALLATION OF RESILIENT BASE WITH MILLWORK...
6 ALL PAINT FINISH OF METAL PARTS OF DOORS, PERIMETER ENCLOSURES, ETC. SHALL BE SEMI-GLOSS, U.O.N...
7 ALL FLOOR MATERIAL TRANSITIONS OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION, U.O.N...
8 FLOAT ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO FLOORING INSTALLATIONS...
9 CARPET CONTRACTOR MUST VERIFY EXISTING FLOOR CONDITIONS PRIOR TO BID & INSTALLATION...
10 CARPET SEAMING DIAGRAM TO BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL...
11 U.O.N, PROVIDE 1/8" BRUSHED STAINLESS STEEL SOLICITER STRIP AT CARPET/STONE OR CARPET/CERAMIC TILE THRESHOLD...
12 ALL ADHESIVES, SEALANTS, AND CAULKS TO BE LESS THAN OR EQUAL TO THE VOC LIMITS ON TABLES...
13 ALL ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH 2016 CQBS TABLE 5.504.4.3 UNLESS MORE STRINGENT LOCAL LIMITS APPLY...
14 ALL CARPETS & CARPET CUSHION SHALL MEET THE REQUIREMENTS OF THE CARPET & RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM...
15 COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH SECTION 5.504.4.5 AND BE LESS THAN OR MEET THE FORMALDEHYDE LIMITS...
16 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SYSTEMS TO BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (IFCI) FLOOR SCORE PROGRAM...
17 FLOORS OF RESTROOMS TO BE FINISHED WITH SMOOTH, HARD, NON-ABSORBENT MATERIALS WHICH EXTEND MINIMUM 4" UP SURROUNDING WALLS...
18 WALL FINISHES AT MOP SINKS IN JANITOR CLOSETS TO BE FINISHED WITH SMOOTH, HARD, NON-ABSORBENT MATERIALS...
19 WET WALLS OF RESTROOMS TO BE FINISHED WITH SMOOTH, HARD, NON-ABSORBENT MATERIALS TO A HEIGHT OF 48" AFF OVER A MOISTURE-RESISTANT UNDERLAYMENT...
20 ALL PAINTINGS & COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE...
21 ALL THERMAL INSULATION SHALL COMPLY WITH STANDARDS LISTED IN SECTIONS A4.504.3.8 & A5.504.4.8 OF THE 2016 CQBS...
22 ACOUSTICAL CEILING & WALL PANELS SHALL COMPLY WITH CHAPTER 8 IN TITLE 24, PART 2 & WITH THE VOC LIMITS DEFINED IN THE 2009 CHPS CRITERIA PER SECTION AS.504.4.9 PER THE 2016 CQBS...
23 ALL WOOD FINISHES TO BE FSC CERTIFIED, U.O.N.

ACCESSIBILITY NOTES

- 1 IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT...
2 FLOOR SURFACES SHALL BE SLIP-RESISTANT...
3 EVERY CORRIDOR AND AISLE SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE NOT LESS THAN 44" IN WIDTH...
4 ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" IN HEIGHT...
5 LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT...
6 THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR FATE SHALL BE AS FOLLOWS...
7 THE BOTTOM 18" OF ALL DOORS (EXCEPT SLIDING AND AUTOMATIC) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST...
8 EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE NOT LESS THAN 36" IN WIDTH AND NOT LESS THAN 6'9" IN HEIGHT...
9 WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES...
10 IDENTIFY ACCESSIBLE ENTRANCES WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS...
11 THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWINGS OF AT LEAST 6'0" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWINGS OF 4'8" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR...
12 TO ALERT THE VISUALLY IMPAIRED, MARK THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR WITH A STRIP OF CLEARLY CONTRASTING COLOR...
13 CENTER ELECTRICAL RECEPTACLE OUTLETS NOT LESS THAN 18" ABOVE THE FLOOR OR WORKING PLATFORM...
14 SANITARY FACILITIES LOCATED ON AN ACCESSIBLE FLOOR OF A BUILDING SHALL BE ACCESSIBLE...
15 ENTRY TO SANITARY FACILITIES...
16 TOILET ROOM ACCESSORIES...
17 MOUNT BOTTOM EDGE OF A MIRROR'S REFLECTIVE SURFACE NO HIGHER THAN 40" A.F.F...
18 MOUNT TOILET TISSUE DISPENSERS WITHIN 7" 9" FROM THE FRONT EDGE OF THE TOILET SEAT...
19 MOUNT DISPENSING AND DISPOSAL FIXTURES (TOWEL, SANITARY NAPKINS, WASTE, COIN SLOTS, ETC) WITH HIGHEST OPERATING PARTS NO HIGHER THAN 40" FROM THE FLOOR...
20 SINGLE ACCOMMODATION TOILET FACILITY...
21 CLEARANCES AROUND A WATER CLOSET SHALL BE 80" MIN. MEASURED PERPENDICULAR FROM SIDE WALL AND 30" MIN. MEASURED FROM REAR WALL...
22 A MIN. OF 60" WIDE AND 48" DEEP MANEUVERING SPACE SHALL BE PROVIDED IN FRONT OF THE WATER CLOSET...
23 THE REQUIRED CLEARANCE AROUND THE WATER CLOSET SHALL BE PERMITTED TO OVERLAP THE WATER CLOSET...
24 THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) SHALL BE BETWEEN 17" AND 19"...
25 MOUNT FLUSH VALVE CONTROL NO MORE THAN 44" ABOVE THE FLOOR...
26 PROVIDE GRAB BARS ON EACH SIDE, OR ONE SIDE AND BACK OF WATER CLOSET...
27 GRAB BARS TO BE INSTALLED HORIZONTAL, 33"-36" A.F.F. MEASURED TO THE TOP OF THE GRIPPING SURFACE...
28 SIDE BARS TO BE 42" LONG AND PROJECT 24" MIN. BEYOND THE FRONT EDGE OF THE WATER CLOSET...
29 DIAMETER OF GRAB BARS TO BE 1-1/4" TO 2"...
30 PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALL...
31 GRAB BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BACKING, ETC) SHALL SUPPORT A 250 POUND LOAD...
32 GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS...
33 GRAB BARS AND ANY ADJACENT SURFACE SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS...
34 EDGES OF GRAB BARS SHALL HAVE A MINIMUM RADIUS OF 1/8"...
35 PROVIDE A CLEAR FLOOR SPACE 30" X 48" IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH...
36 MOUNT LAVATORIES WITH A MINIMUM CLEARANCE OF 33" FROM THE FLOOR TO THE BOTTOM OF THE APRON...
37 FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING...
38 INSULATE OR OTHERWISE COVER HOT/COLD WATER AND DRAIN PIPES UNDER LAVATORIES...
39 THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

REFLECTED CEILING NOTES

- 1 UNLESS OTHERWISE INDICATED OR REQUIRED, DESIGN SUSPENDED CEILING FRAMING SYSTEMS TO RESIST A LATERAL FORCE OF 20% OF THE WEIGHT OF THE CEILING ASSEMBLY...
2 WHERE CEILING LOADS DO NOT EXCEED 5 POUNDS PER SQUARE FOOT...
3 PROVIDE LATERAL SUPPORT BY FOUR WIRES OF MINIMUM NO. 12 GAUGE...
4 ALLOW FOR LATERAL MOVEMENT OF THE SYSTEM ATTACH MAIN RUNNERS AND CROSS RUNNERS AT TWO ADJACENT WALLS...
3 LOCATE REGISTERS, LIGHTING FIXTURES, SPRINKLER HEADS, SPEAKERS, RECESSED FIXTURES, AND SIMILAR CEILING ELEMENTS CENTERED IN ACOUSTICAL TILE SP, U.O.N...
6 WHEN CEILING INTERRUPTIONS OCCUR, SUCH AS PARTITIONS, FLURR DOWNS, ETC., THEY SHALL BE CHECKED AND THEIR STRUCTURALITY REVIEWED...
7 IN CIV. SD, SOFFITS AND CEILING, CONCEALED SPRINKLER HEADS TO BE USED...
8 THERE SHALL BE NO COMBUSTIBLE MATERIALS IN THE PLENUM SPACE...
9 LOCATE RECESSED DOWN LIGHTS, WALL WASHERS AND SPOT LIGHTS IN CENTER OF CEILING TILES...
10 CONDUIT MUST BE A MINIMUM OF 8" CLEAR ABOVE THE CEILING GRID...
11 AVERAGE LEVEL OF LIGHTING THROUGHOUT AS REQUIRED TO MEET LOCAL JURISDICTION REQUIREMENTS...
12 THE CONTRACTOR SHALL PROVIDE RECORD DOCUMENTATION...
13 ALL CONDUITS AND HVAC DUCTS SHALL BE INDEPENDENTLY SUSPENDED FROM THAT USED TO SUSPEND THE CEILING TLE...
14 NOTIFY ARCHITECT PRIOR TO CONSTRUCTION IF INDICATED CEILING HEIGHTS AND ELECTRICAL, MECHANICAL, PLUMBING, OR FIRE PROTECTION INSTALLATIONS CONFLICT WITH FIELD CONDITIONS...
15 ARRANGE ITEMS ABOVE CEILING TO PROVIDE ADEQUATE CLEARANCES FOR CEILING AND ALL ASSOCIATED DEVICES...
16 INSTALL ABOVE CEILING UL LISTED FLEXIBLE SPRINKLER CONNECTIONS...
17 ACT CEILING GRID TO BE CENTERED WITHIN ENCLOSED ROOMS, U.O.N...
18 CONTRACTOR SHALL CLEAN ALL FIXTURE LAMPS AND REPLACE AS MISSING, BURN OUT OR MISMATCHED...
19 ALL EXISTING REUSED GRILLES SHALL BE REFINISHED TO "LIKE NEW" CONDITION...
20 REWORK LIGHTING AND LIGHT SWITCHING AS REQUIRED FOR NEW ROOM CONFIGURATION...
21 REWORK EXISTING HVAC AIR DISTRIBUTION AS REQUIRED FOR NEW ROOM CONFIGURATION...
22 REPLACE ALL EXISTING DAMAGED OR MISSING CEILING TILES AND GRID SYSTEM...
23 ARRANGE ABOVE CEILING ITEMS TO PROVIDE ADEQUATE CLEARANCES FOR CEILING AND ITS DEVICES...
24 REMOVE ALL TAGS AND LABELS NOT REQUIRED BY CODE FROM EXPOSED DUCTWORK, CONDUIT AND PIPING...
25 IF IT IS NOT POSSIBLE TO LOCATE SPRINKLER HEADS AS REQUIRED FOR ANY REASON...
26 EXIT SIGNS TO BE CENTERED ON THE CORRESPONDING DOOR, TYP, U.O.N...
27 GC TO PROVIDE SPRINKLER HEAD LOCATIONS FOR ARCHITECTS REVIEW PRIOR TO INSTALLATION...
28 PROVIDE SPRINKLER HEAD LOCATIONS WITH LIGHT FIXTURES U.O.N.

CONSTRUCTION NOTES

- 1 ALL EXISTING CONSTRUCTION SHOWN TO REMAIN U.O.N...
2 CONTRACTOR TO PATCH AND REPAIR ANY AREA AFFECTED BY CONSTRUCTION TO BE IN "LIKE NEW" CONDITION...
3 UNLESS OTHERWISE DIRECTED BY OWNER, ARCHITECT, OR PROJECT MANAGER, GC TO PROVIDE KEYING AND SIGNAGE ALLOWANCE...
4 PROVIDE AND INSTALL WINDOW TREATMENT AS NOTED IN SCOPE AREA U.O.N...
5 USE 5/8" THICK TYPE "X" GYPSUM BOARD THROUGHOUT, U.O.N...
6 U.O.N, ALL GLASS USED IN PROJECT SHALL BE TEMPERED AND ALL EXPOSED EDGES POLISHED...
7 PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL, MECHANICAL CONTROLS...
8 ALL PENETRATIONS THROUGH RATED ASSEMBLIES MUST BE FIRE SEALED PER UL METHODS...
9 ALL INTERIOR PARTITIONS SHALL BE TAPED SMOOTH AND SANDED TO RECEIVE FINISHES AS SCHEDULED...
10 LOCATE THE HINGE SIDE OF DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED 4" FROM ADJACENT PERPENDICULAR PARTITIONS...
11 CONTRACTOR SHALL PREPARE AND IMPLEMENT CONSTRUCTION WASTE MANAGEMENT PLAN...
12 CONTRACTOR SHALL REFINISH ANY BLEMISHED DOOR, OR REPLACE SAID DOOR IF NOT ABLE TO REFINISH...
13 ALL FIRE BARRIERS SHALL BE PERMANENTLY IDENTIFIED W/ SIGNS OR STENCILING THAT INCLUDE:
13A LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES
13B BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION...
13C INCLUDING LETTERING NOT LESS THAN 3" IN HEIGHT WITH A MINIMUM 3/8" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" PER 2018 IBC 703.7

GENERAL NOTES

- 1 COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK...
2 OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK...
3 REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN...
4 SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION...
5 COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS...
6 OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "IN" UNDER SEPARATE CONTRACT...
7 GC TO COORDINATE FURNITURE, SIGNAGE, GRAPHICS, TELECOMMUNICATIONS, DATA AND SECURITY SYSTEM INSTALLATIONS...
8 MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES...
9 PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE...
10 MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION...
11 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT...
12 PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE...
13 GC COORDINATE AND PROVIDE BACKING FOR MILLWORK AND EQUIPMENT ITEMS AS ATTACHED...
14 ALL DOORS SHALL BE TRIMMED AT THRESHOLD TO PROVIDE 1/4" MIN. 1/4" MAX. CLEARANCE...
15 GC TO COORDINATE WITH LANDLORD OF ANY RELOCATION OF (E) SERVICE LINES...
16 THE OPENING FORCE FOR INTERIOR SIDE-SWINGING DOORS WITHOUT CLOSERS SHALL NOT EXCEED A 5 POUND FORCE...
17 HORIZONTAL MOVABLE PARTITIONS (AS PART OF A COMPONENT OF A MEANS OF EGRESS) SHALL BE OPERABLE BY A SIMPLE METHOD...
18 MAINTAIN INTEGRITY OF FIRE SPRINKLER SYSTEM, INCLUDING FIRE PANEL FOR MONITORING OF RISER AND PIV.

DEMOLITION NOTES

- 1 COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION...
2 PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES...
3 IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER...
4 REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS...
5 PROTECT INTEGRITY OF BUILDING AND SITE PLUMBING, GAS AND CONDENSATE SYSTEMS TO REMAIN...
6 IF REQUIRED, PROPERLY CUT AND CAP DEMOLISHED WASTE LINES BELOW SLAB OR FLUSH WITH CLEAN OUT...
7 ERECT AND MAINTAIN DUST-PROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE...
8 REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES...
9 REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK...
10 REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLEING AND DEVICES...
11 REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES...
12 PATCH AND/OR REPAIR ANY DAMAGED GYPSUM BOARD CONSTRUCTION...
13 ENSURE CONTINUOUS OPERATION OF EXISTING STRUCTURE AND FIRE/LEAVE SAFETY SYSTEMS...
14 EXISTING ROOF TOP HVAC UNITS TO REMAIN...
15 ALL EXPOSED WRING TO BE CAPPED OFF AND TERMINATED IN JUNCTION BOXES...
16 ALL SALVAGED FEEDERS AND/OR BRANCH CIRCUITS SHALL BE REMOVED AT LOAD SIDE...
17 REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLEING AND DEVICES THROUGHOUT...
18 DEMO (E) AVIT CABLES, MAINTAIN LENGTHS, RETURN TO OWNER FOR REUSE AND CONSTRUCTION...
21 FIRE SAFETY DURING DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH NFPA 241.

RIOT GAMES

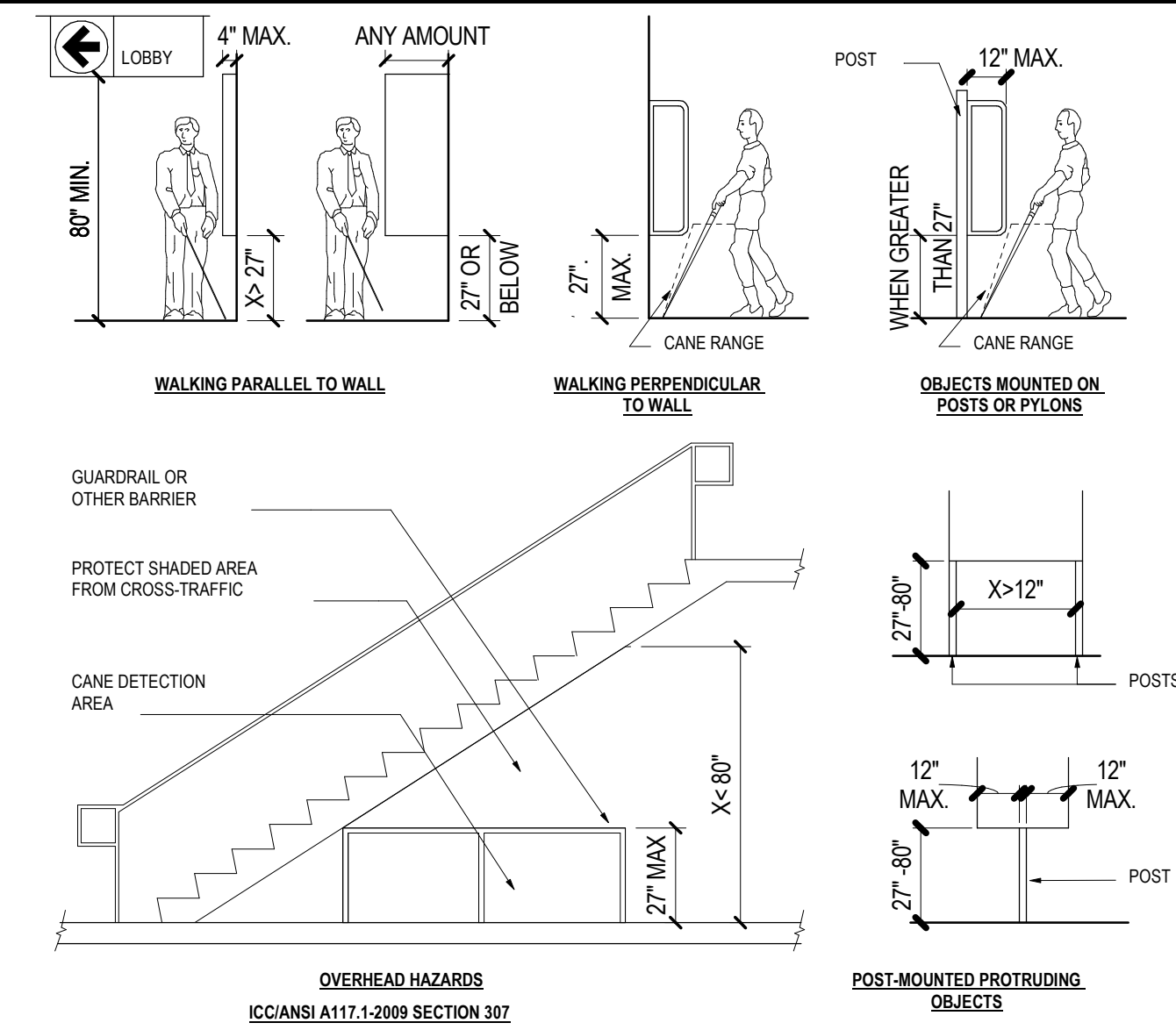
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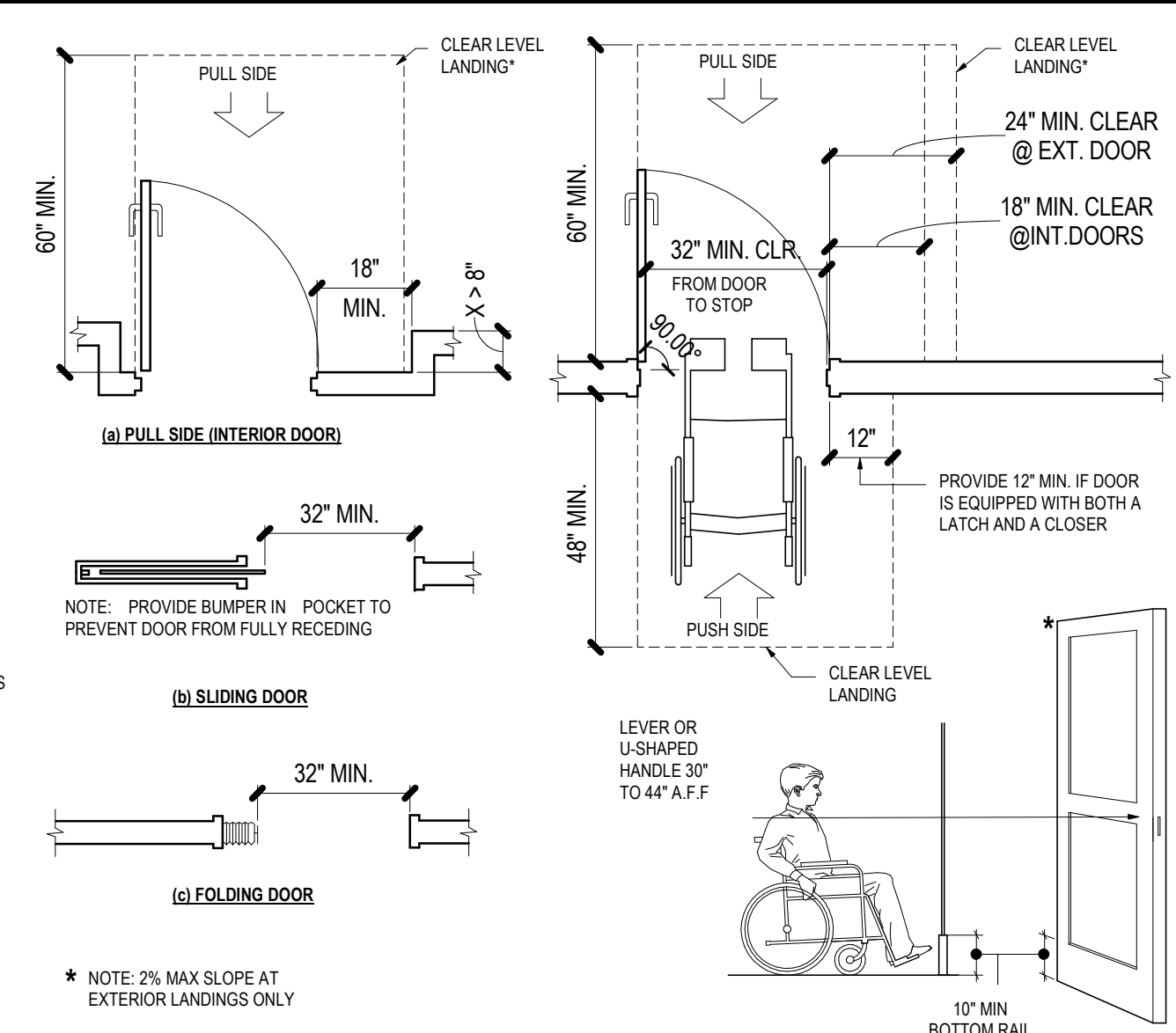
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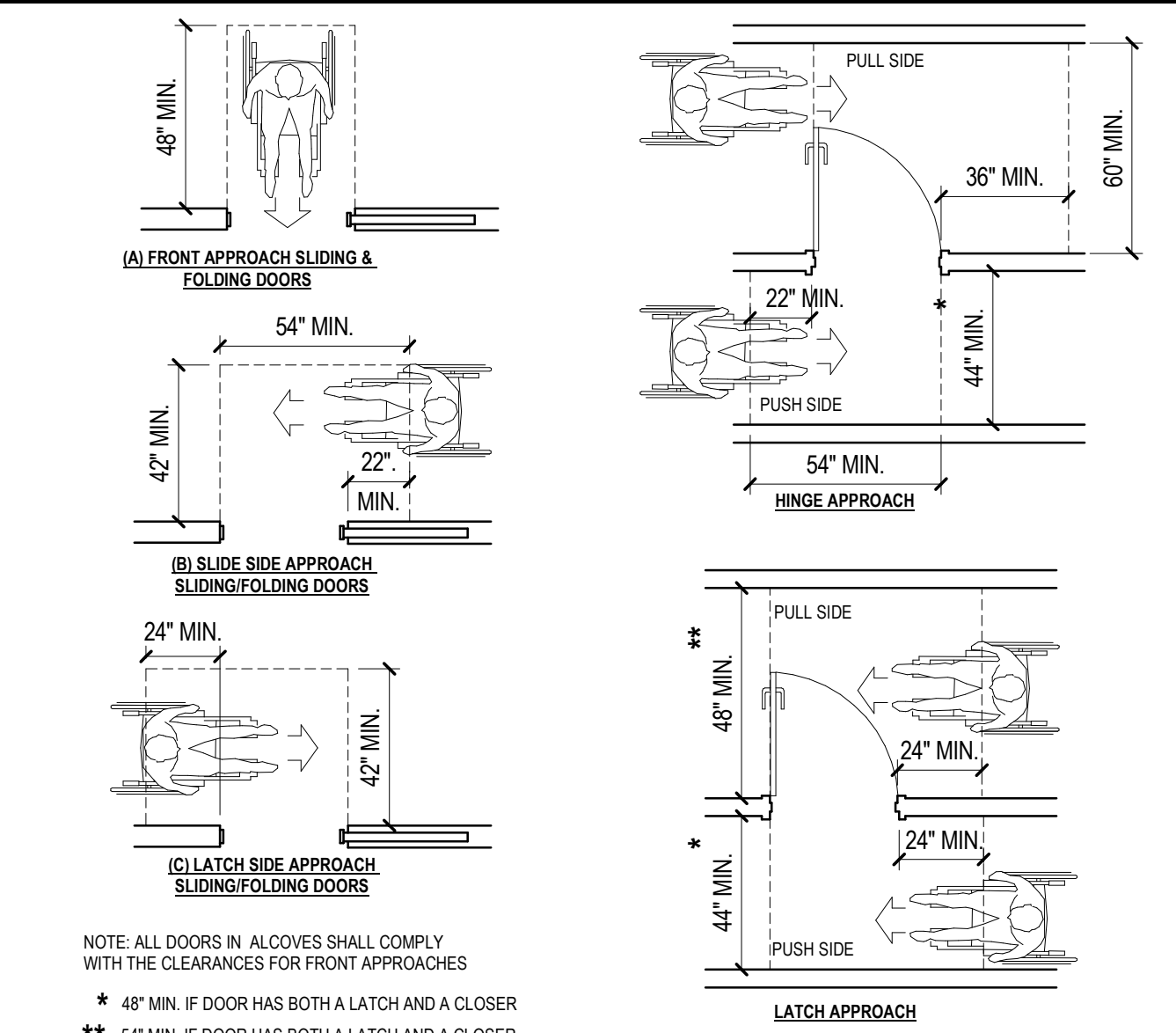
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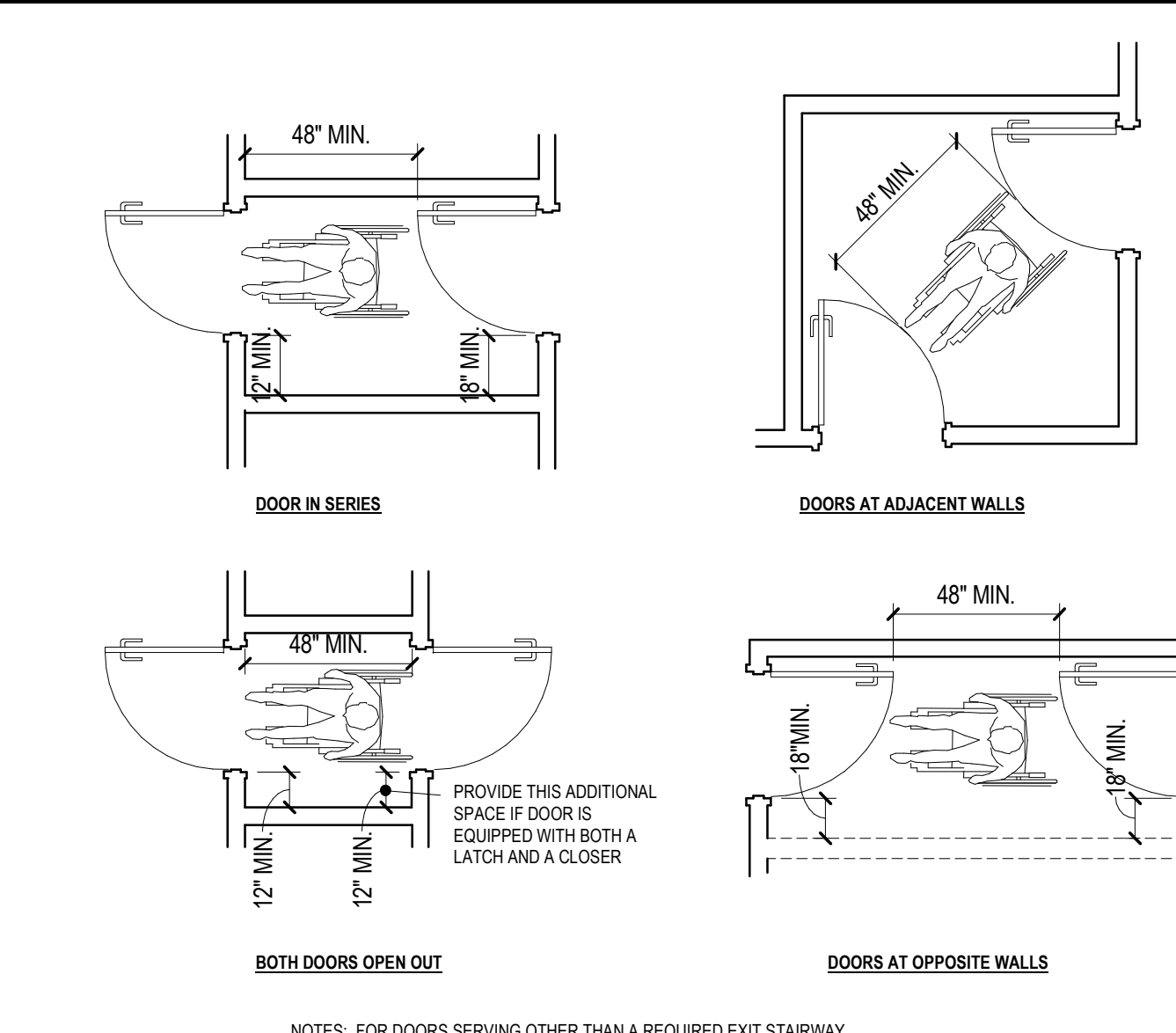
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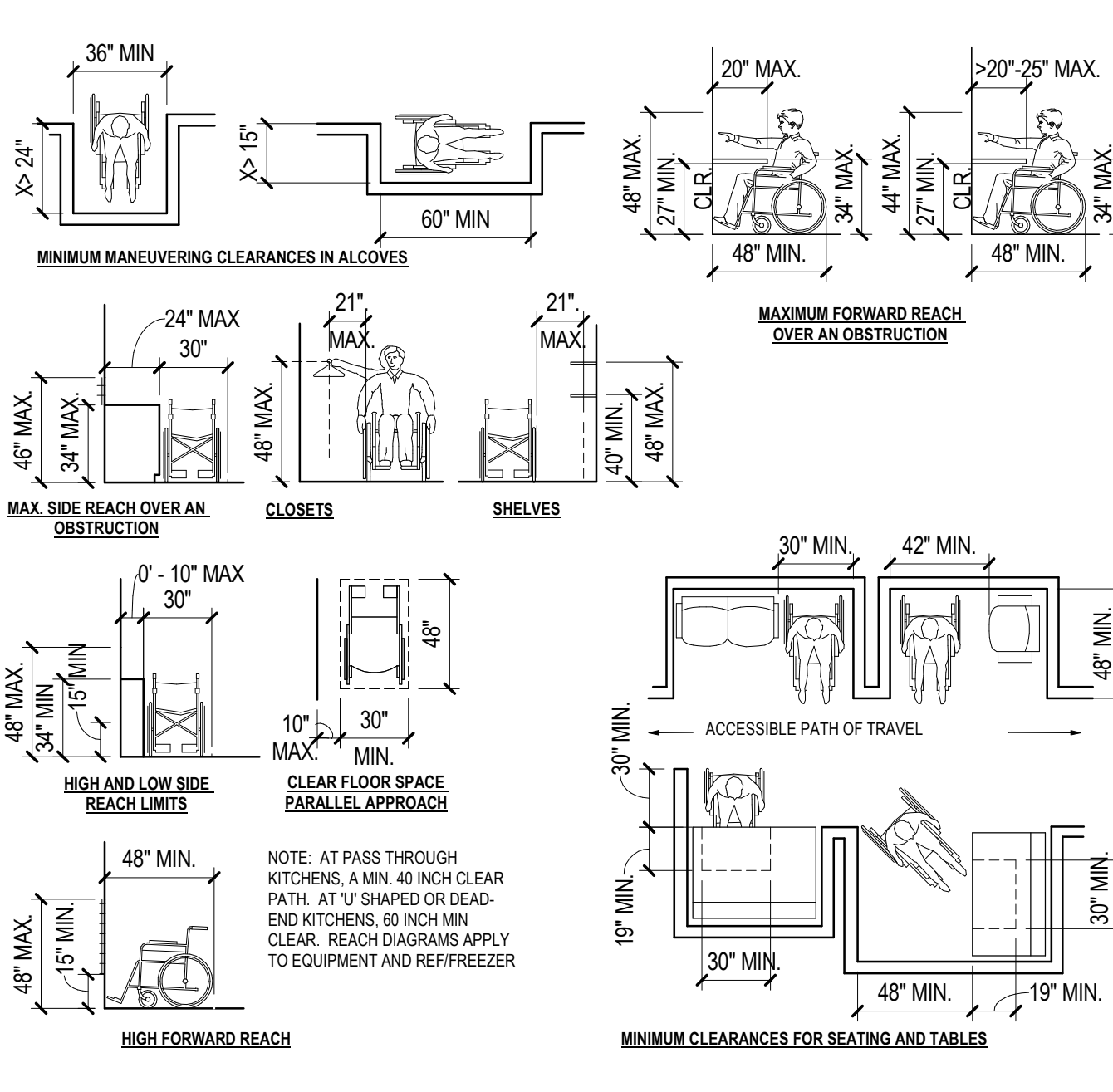
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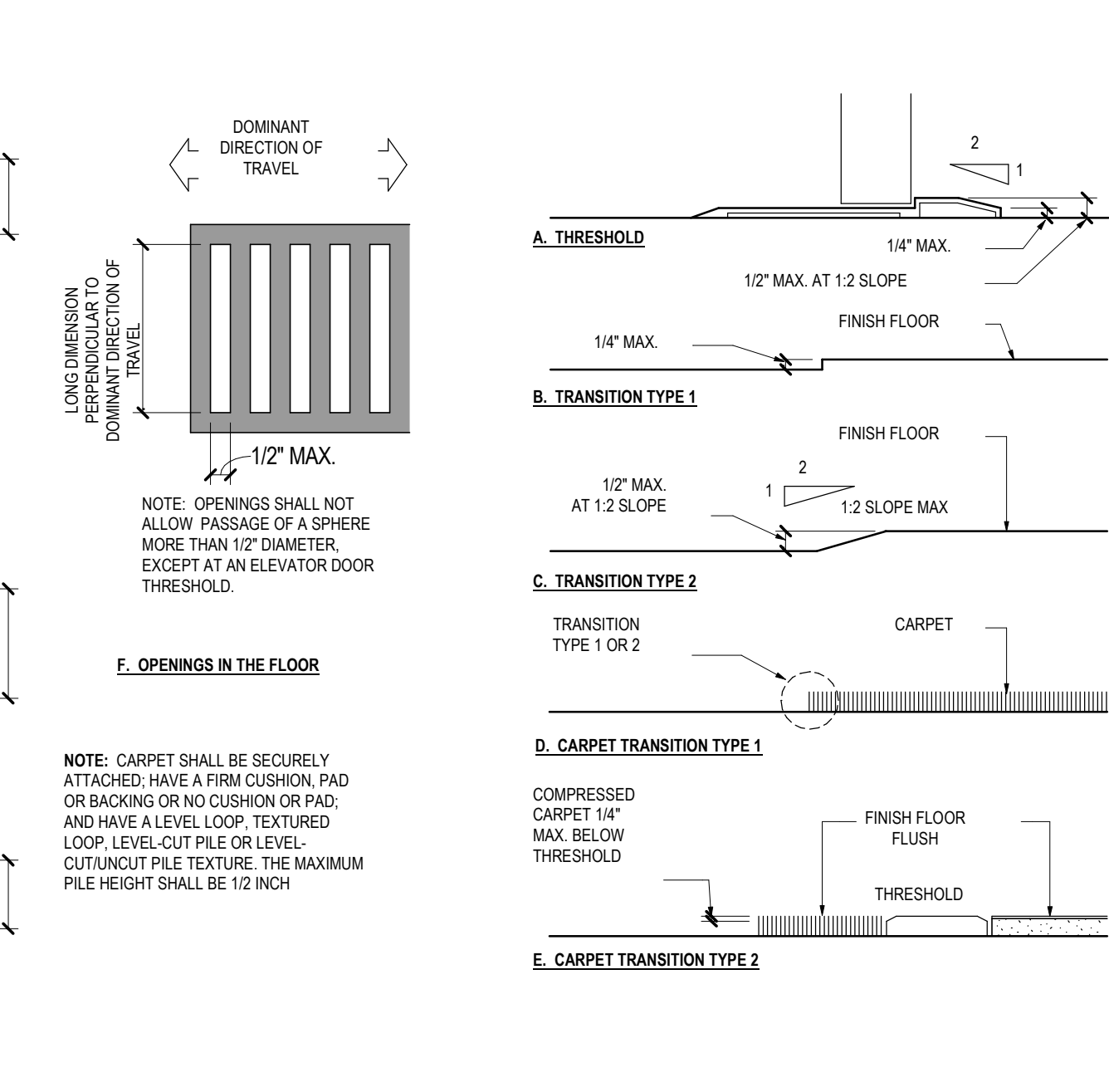
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SCALE: 1/4" = 1'-0"



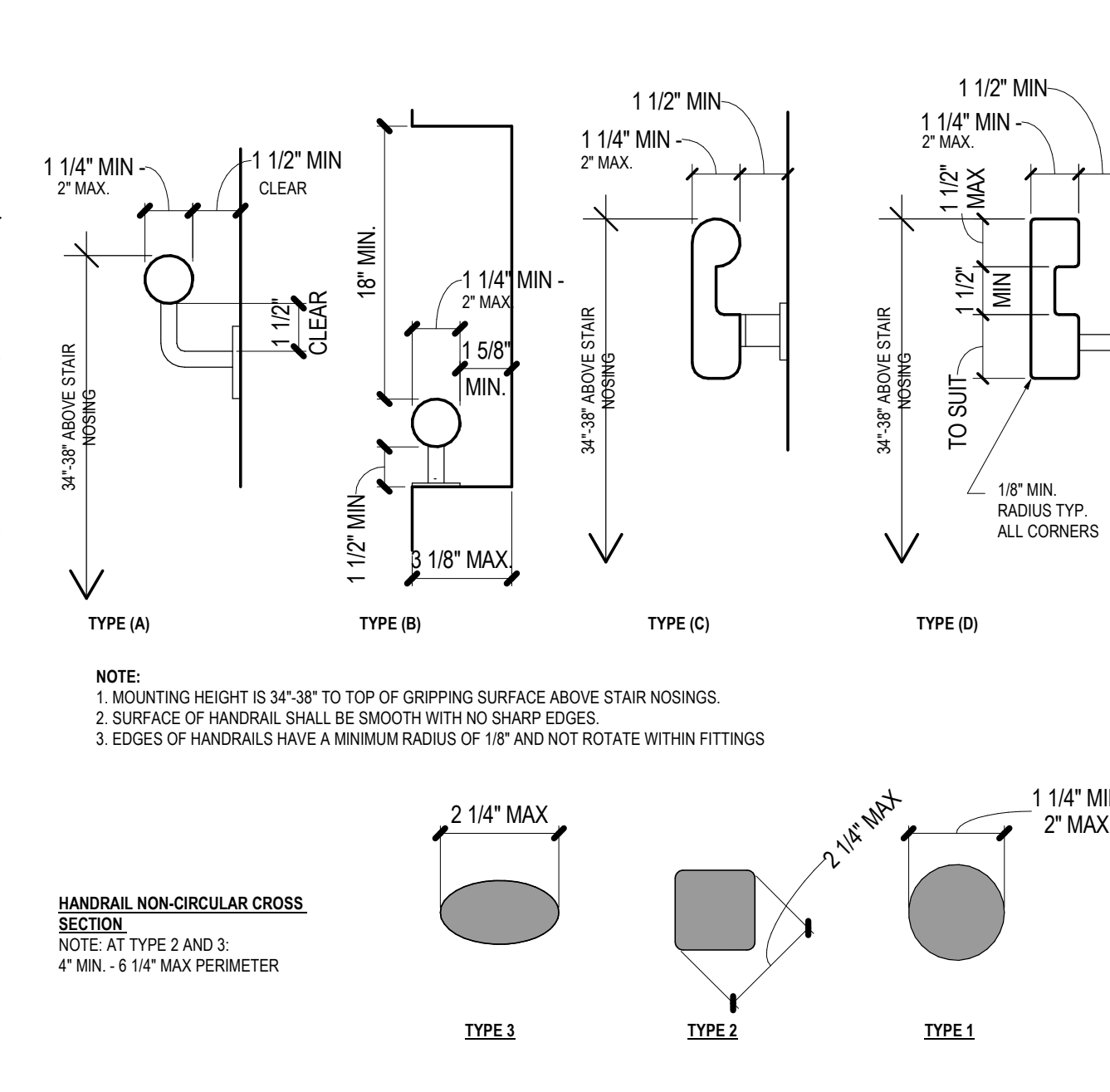
01 DT_VESTIBULE CLEARANCES
SCALE: 1/4" = 1'-0"



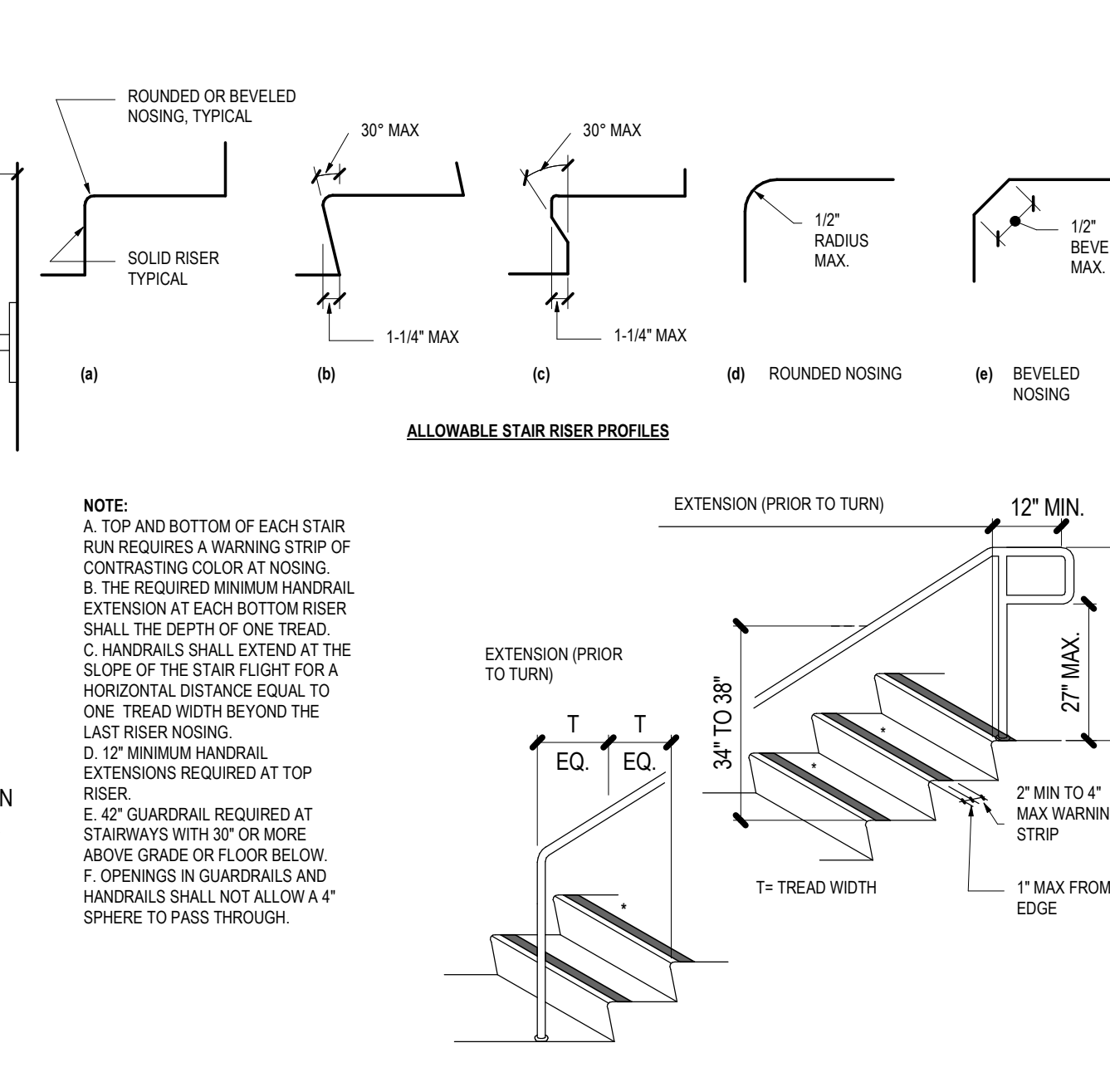
09 DT_REACH RANGES
SCALE: 1/4" = 1'-0"



08 DT_FLOOR TRANSITIONS
SCALE: 3/4" = 1'-0"



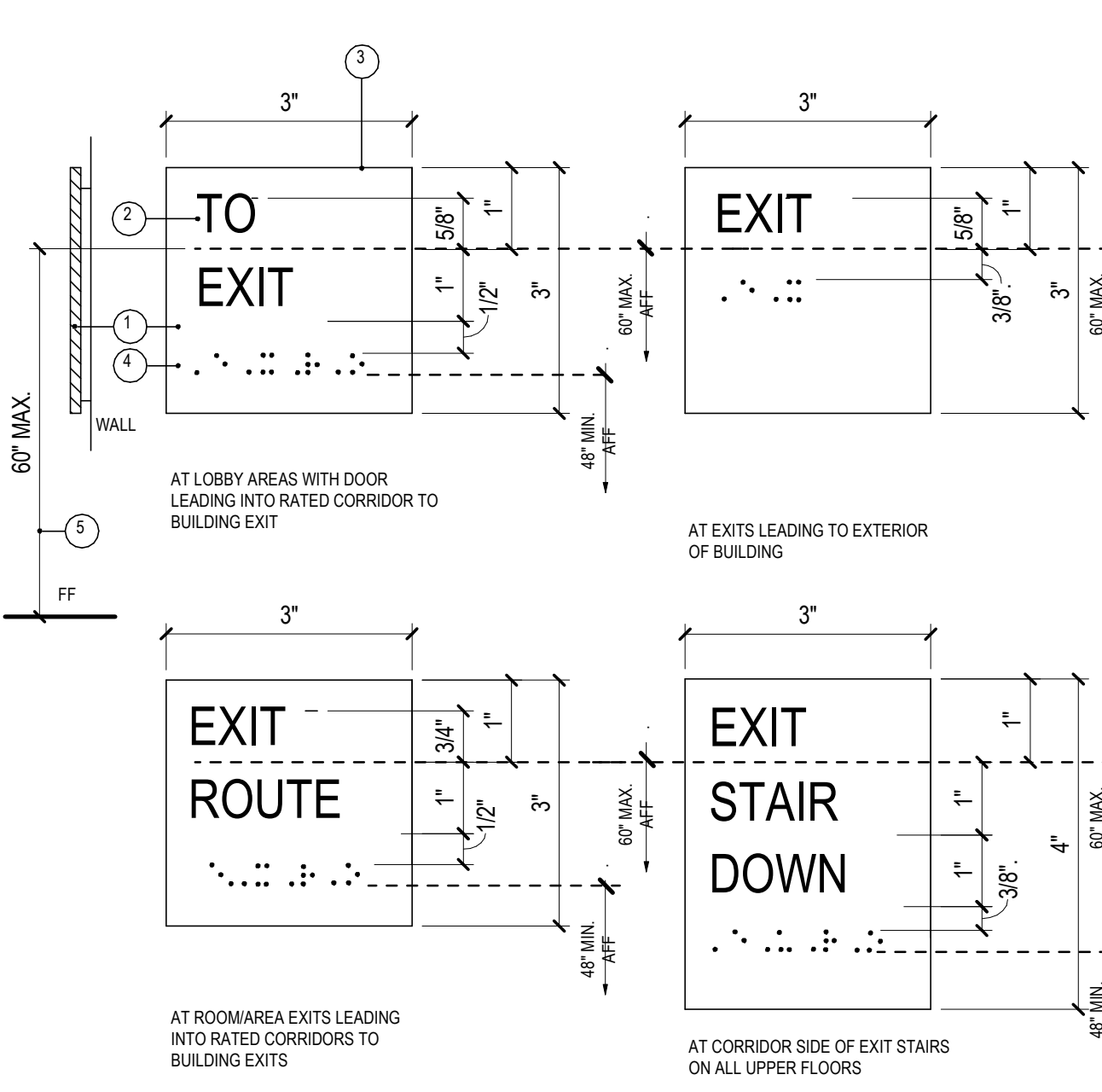
07 DT_HANDRAIL REQUIREMENTS
SCALE: 1/4" = 1'-0"



06 DT_STAIR REQUIREMENTS
SCALE: 1" = 1'-0"



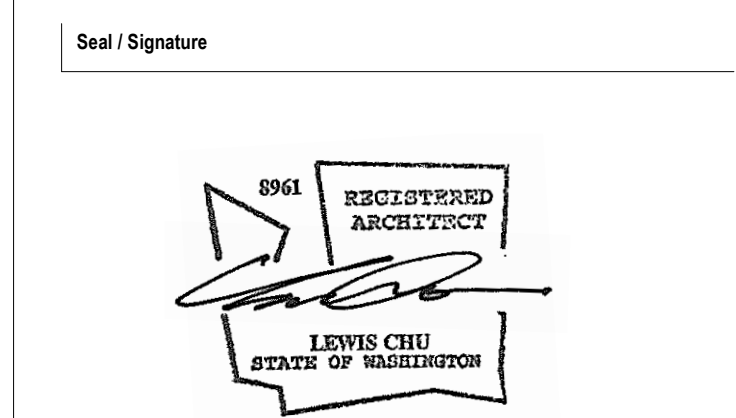
16 DT_ACCESSIBLE TACTILE EXIT SIGNAGE
SCALE: 6" = 1'-0"



16 DT_EXIT SIGNAGE
SCALE: 6" = 1'-0"

- ① EXIT SIGNAGE IDENTIFICATION WITH RAISED LETTERS AND BRAILLE. BRAILLE TO MATCH BACKGROUND PATTERN CHARACTERS, SYMBOLS AND THEIR BACKGROUND SHALL HAVE A CONTRASTING PATTERN CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. PER 2018 IBC SECTION 1111 AND ICC ANSI A117.1-2009 SECTION 703.5.
- ② CHARACTERS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 66 PERCENT MIN AND 110 PERCENT MAX OF THE HEIGHT OF THE UPPERCASE LETTER "I". PER ICC ANSI A117.1-2009 SECTION 703.5. CHARACTER HEIGHT SHALL BE 5/8" MIN AND 2 INCHES MAX. BASED ON THE HEIGHT OF THE UPPERCASE LETTER "I". PER ICC ANSI A117.1-2009 SECTION 703.5.1. STROKE THICKNESS OF THE UPPERCASE LETTER "I" SHALL BE 15 PERCENT MAX OF THE HEIGHT OF THE CHARACTER. (ADA AND A117.1-2009 SECTION 703.5.1)
- ③ CHARACTERS ON SIGNS SHALL BE RAISED 1/32" MIN. AND SHALL BE SAN SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2. (ICC AND A117.1-2009 SECTION 703.5.1) BRAILLE SHALL BE CONTRACTED GRADE 2 AND SHALL COMPLY WITH ICC AND A117.1-2009 SECTION 703.5.1)
- ④ CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. SIGNS SHALL HAVE A CORNER OR ROUNDED SHAPE AND SHALL COMPLY WITH TABLE 119-703.1.1.
- ⑤ VISUAL CHARACTERS SHALL COMPLY WITH SECTION ICC AND A117.1-2009 SECTION 703.5.
- ⑥ WHERE A TACTILE SIGN IS PROVIDED AT A DOOR FOR ROOMS AND SPACES, SIGNS SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR. WHERE THERE IS NO WALL SPACE BETWEEN THE LATCH SIDE OR AT THE RIGHT SIDE OF DOUBLE LEAF DOORS, SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNS SHALL BE LOCATED SO THAT A CLEARANCE SPACE OF 18" MIN. IS CENTERED ON THE TACTILE CHARACTER IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREES OPEN POSITION. (ICC AND A117.1-2009 SECTION 703.5.1)

Date	Description
05/10/2023	ISSUE CD 90%
05/19/2023	ISSUE FOR PERMIT



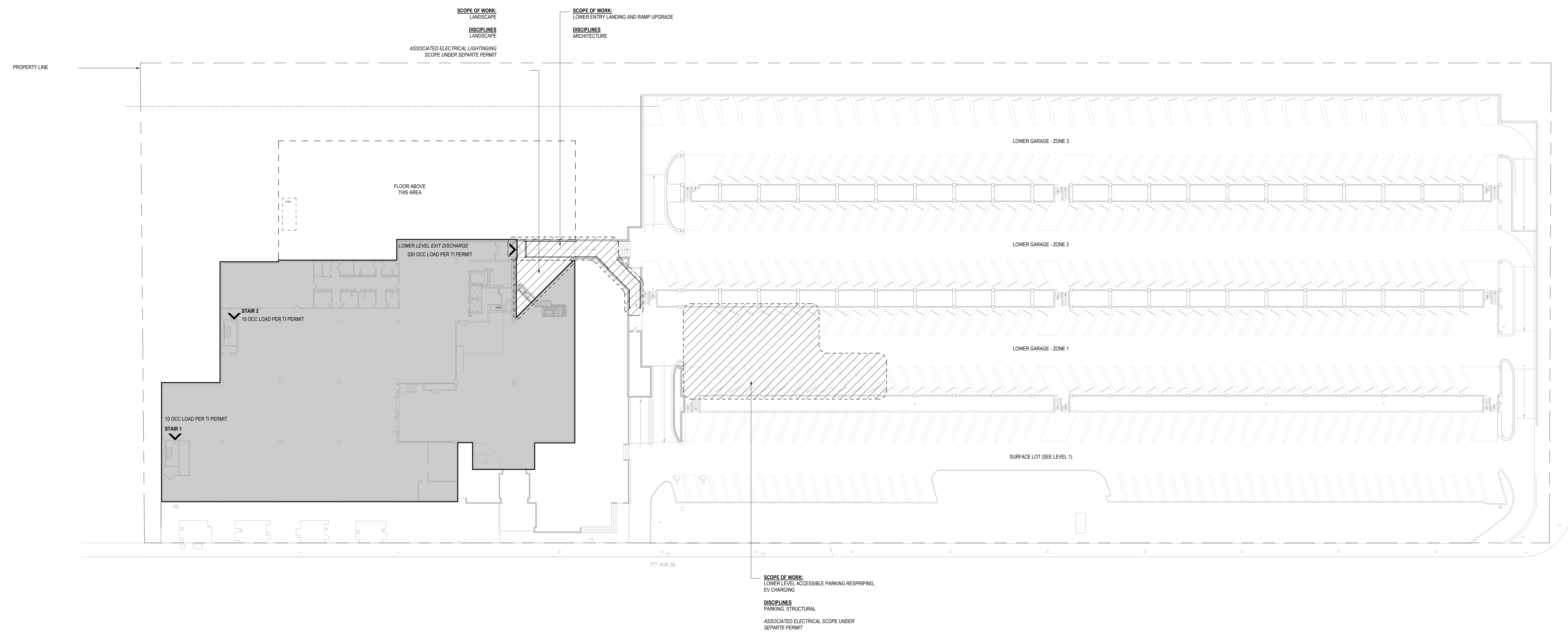
Project Name
Riot Games Seattle - Exterior Upgrades

Project Number
05.3853.000

Description
ACCESSIBILITY DIAGRAMS

Scale
As indicated

G0.30

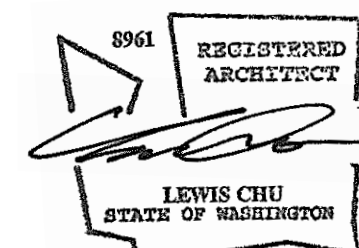


1 SITE PLAN - LEVEL 0 (LOWER LEVEL)

SCALE: 1" = 30'-0"

Date	Description
05/10/2023	ISSUE CD 90%
05/19/2023	ISSUE FOR PERMIT
10/06/2023	PLAN REVIEW CORRECTIONS

Scale / Signature



Project Name

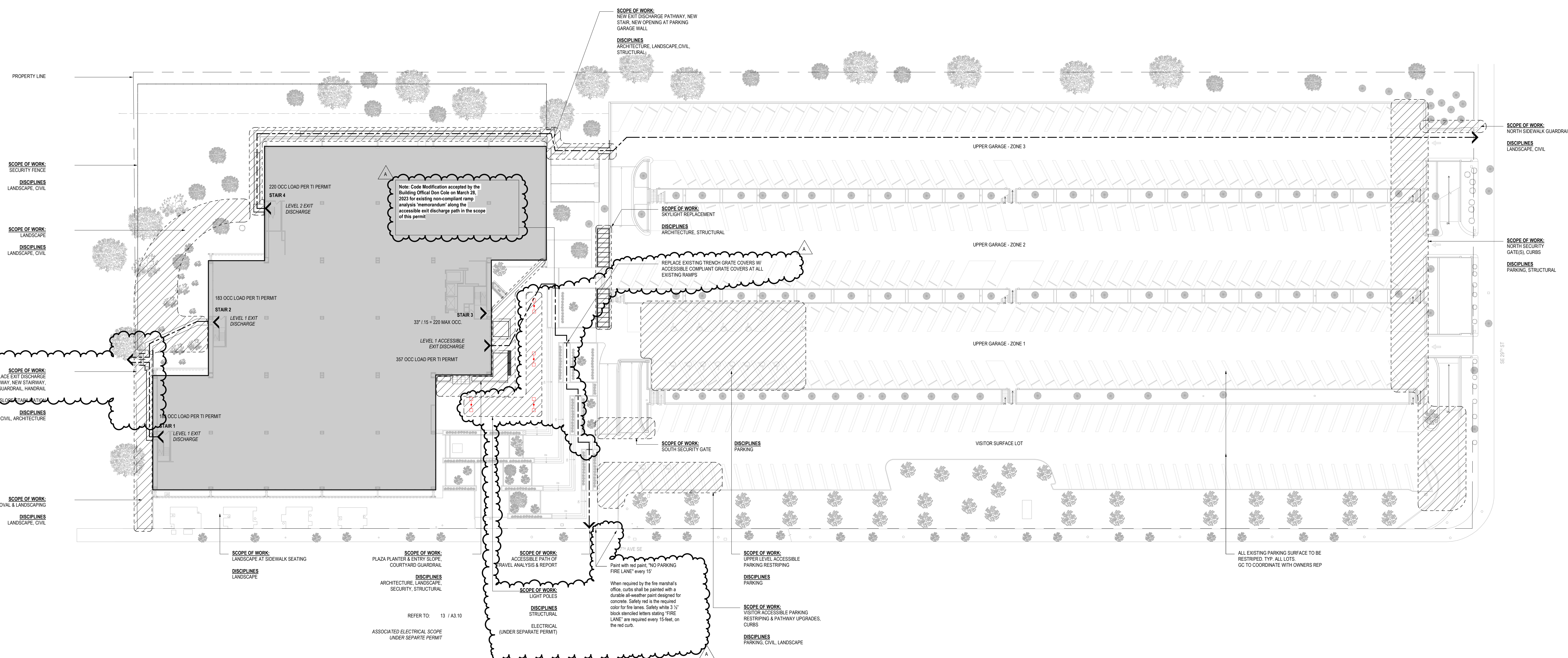
Riot Games Seattle - Exterior Upgrades

Project Number

05.3853.000

Description
CAMPUS SITE & SCOPE COORDINATION PLAN - FOR REFERENCE ONLY

Scale
1" = 30'-0"



2 SITE PLAN - LEVEL 01 (ENTRY)

SCALE: 1" = 30'-0"

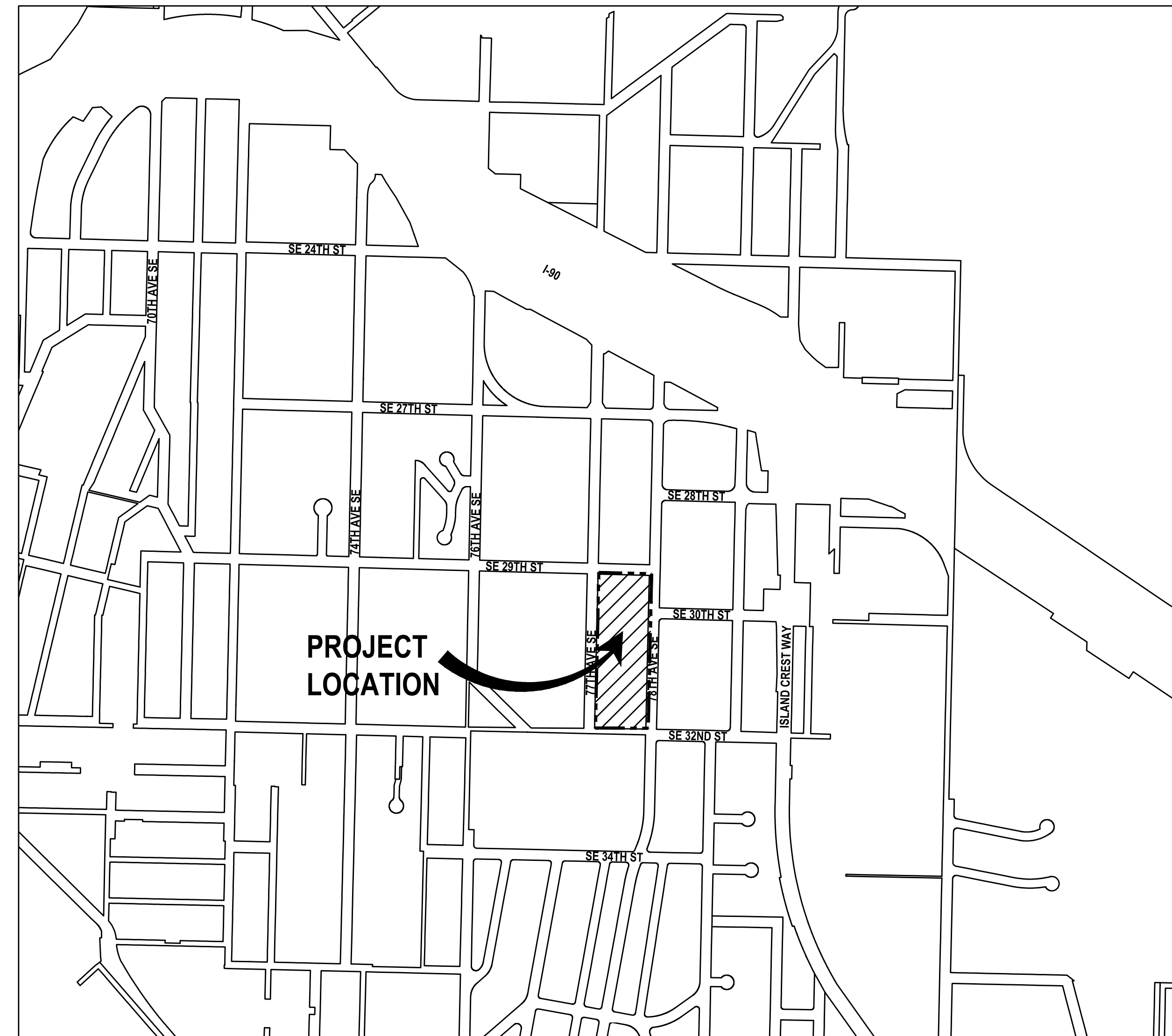
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RIOT GAMES EXTERIOR UPGRADES

3003 77TH AVE SE
MERCER ISLAND, WA 98040

EXISTING LEGEND AND ABBREVIATIONS (PER PROJECT SURVEY):

BRH:	CONTOUR
ASBR/RET	▲ = MONUMENT FOUND AS NOTED, VISITED SEPT. 1, 2005.
BLSD	▬ = FOUND TACK IN LEAD.
BLSD	◆ = SITE BENCHMARK
BR	VC = FLOW LINE OF VERTICAL CURB
BR	0 = SIGN
BR	□ = SIGNAL BOX (SB)
BR	▬ = FLAGPOLE
BR	▲ = HANDICAP PARKING/RAMP (H/C)
BR	-X- = HAND RAIL
BR	1 = GATE POST
BR	◉ = POWER POLE (PP)
BR	◉ = GUY WIRE ANCHOR (GWA)
BR	⊗ = YARD LIGHT (YL) / LIGHT STANDARD (LS)
BR	PV = POWER VAULT
BR	TP = TRANSFORMER PAD
BR	□ = ELECTRICAL BOX
BR	□ = POWER CABINET
BR	△ = GAS METER (GM)
BR	△ = IRRIGATION CONTROL BOX (ICB)
BR	△ = WATER METER (WM)
BR	WV = WATER VAULT
BR	▽ = FIRE STAND PIPE (FSP)
BR	▽ = HYDRANT
BR	▽ = FIRE CONNECTION (FC)
BR	▽ = IRRIGATION CONTROL VAULT (ICV)
BR	▽ = CATCH BASIN (CB)
BR	▽ = YARD DRAIN (YD)
BR	▽ = STORM DRAINAGE MANHOLE (SDMH)
BR	■ = SANITARY SEWER MANHOLE (SSMH)
BRH	
AREA DRAIN	
ARRANGED/RETRED	
ASPHALT (ASPH)	
BOLLARD	
BRICK SURFACE	
BUILDING LINE	
BUILDING CORNER	
BIKE RACK	
CATCH BASIN (CB)	
CONCRETE SURFACE	
CONCRETE/BROOK WALK	
CONCRETE BRICK MANSION WALL	
CONCRETE/EXTRUDED CURB	
CONCRETE/IRON PIPE	
CHAIN LINK FENCE (CLF)	
CABLE TV	
COLLIARY	
CENTERLINE/MONUMENT LINE	
CONCRETE/BRICK STAIRS	
H/C PARKING SPACE	
CONIFEROUS TREE	
DECIDUOUS TREE	
CORRUGATED METAL PIPE	
CENTER OF CHANNEL	
DRIVEWAY	
ELECTRICAL CONDUIT	
ELECTRICAL DUCT	
ELECTRICAL HANDHOLE	
ELECTRICAL MANHOLE	
ELECTRICAL METER	
ELECTRICAL VAULT/TRANSFORMER	
FOUND SURVEY MONUMENT (AS NOTED)	
FIRE HYDRANT	
FIRE DEPT. CONNECTION (FDC)	
FIBER OPTIC	
FIBER OPTIC MANHOLE (FOD)	
FRESH FLOOR ELEVATION	
GRADE BREAK	
GAS MAIN	
GAS METER	
GAS VALVE	
GAS VAULT	
STRAIN POLE	
IRRIGATION CONTROL BOX	
IRRIGATION VALVE	
IRON FENCE (IRF)	
IRRIENT ELEVATION	
LIGHT POLE (DECORATIVE)	
LANDSCAPE/PLANTER	
MANHOLE	
MAILBOX (FEDERAL/PRIVATE)	
MONITOR WELL	
PARKING SPACES(S)	
PROPERTY LINE (PL)	
PRINTED UTILITY LOCATION	
PIPE FLOW DIRECTION	
POLYETHYLENE	
PARKING PAY STATION	
COMBINED/SANITARY SEWER	
STORM DRAIN	
PRIVATE CATCH BASIN	
RECORD DATA	
ROOFS	
ROOF ELEVATION	
STORM DRAIN (STORM)	
CLEANOUT	
SANITARY SIDE SEWER (RECORD)	
SONG/STREET NAME SIGN	
TRAFFIC CONTROL/STREET LIGHT HANDHOLE	
TRENCH DRAIN	
TEMPORARY BENCHMARK (TBM)	
TELEPHONE CONDUIT (BURIED)	
TELEPHONE DUCT	
TELEPHONE VAULT	
TELEPHONE MANHOLE	
TELEPHONE SANITARY	
TRAFFIC FLOW DIRECTION	
TIE OF SLOPE	
TOP OF BANK	
UTILITY POLE (WOOD)	
WATER MAIN	
WATER METER	
WATER VALVE	
WATER GATE VALVE/CHAMBER	
VARIATION/CONSERVATION ORDINANCE	
WOOD FENCE (WF)	
YARD LIGHT	



NORTH VICINITY MAP
SCALE: 1"=500'

SHEET NO.	SHEET TITLE
C0.00	COVER SHEET
C1.00	DEMOLITION & TESC PLAN
C1.10	TESC DETAILS
C2.00	CIVIL SITE PLAN
C2.10	GRADING ENLARGEMENTS
C2.11	GRADING ENLARGEMENTS
C2.12	GRADING ENLARGEMENTS
C2.13	GRADING ENLARGEMENTS
C2.20	CIVIL DETAILS

DISTURBED AREA CALCULATIONS:	
EXISTING IMPERVIOUS REMOVAL	= -1,138 SF
NEW AND REPLACED IMPERVIOUS SURFACE	= +1,164 SF
NET IMPERVIOUS SURFACE	= +26 SF
CODE THRESHOLD FOR NET IMPERVIOUS SURFACE INCREASE	= +600 SF
NEW AND REPLACED HARD SURFACE	= +1,779 SF
CODE THRESHOLD FOR NEW AND REPLACED HARD SURFACE	= +2,000 SF
TOTAL DISTURBED AREA	= 12,201 SF

BENCHMARKS AND DATUM (PER PROJECT SURVEY)

BRH:
DESCRIPTION:

PARCEL 1:
LOTS 7 THROUGH 12, BLOCK 11, MOLIVRAS ISLAND ADDITION, ACCORDING TO THE PLAT RECORDED IN VOLUME 16 OF PLATS, PAGE 58, IN KING COUNTY, WASHINGTON.
EXCEPT THE EAST 10 FEET CONVEYED FOR ROAD BY DEED RECORDED DECEMBER 1, 1958 UNDER RECORDING NO. 60418/14, IN KING COUNTY, WASHINGTON.

PARCEL 2:
AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES AS SET FORTH IN RECORDING NO. 7907268/16 OF OFFICIAL RECORDS, RECORDED JULY 26, 1979 AS RECORDING NO. 7907268/16 OF OFFICIAL RECORDS.

HORIZONTAL DATUM:
NAD 83/2011 (EPOCH 2010.00)

HORIZONTAL BENCHMARKS:
OWNER: CITY OF MERCER ISLAND
ID# M1015
DESCRIPTION: FOUND 1" PUNCHED BRASS DISC WITH BUSH IN 4"x4" CONC. "1523613", DOWN 0.35
77TH AVE SE & SE 32ND ST
LOCATION: NORTHING: 215382.42
EASTING: 1294489.72
OWNER: CITY OF MERCER ISLAND
ID# 8659F
DESCRIPTION: FOUND RAISED ROCK NEAR CENTER OF CONC. IN CASE, DOWN 1.00
77TH AVE SE & SE 32ND ST
LOCATION: NORTHING: 216322.78
EASTING: 1294599.62

VERTICAL DATUM:
NAVD 88

VERTICAL BENCHMARKS:
SOURCE: CITY OF MERCER ISLAND
ID# M1015
DESCRIPTION: FOUND 1" PUNCHED BRASS DISC WITH BUSH IN 4"x4" CONC. "1523613", DOWN 0.35
77TH AVE SE & SE 32ND ST
ELEVATION: 85.16
SOURCE: BRH
ID# TBM 01
DESCRIPTION: GRADELESS SQUARE AT CURB FACE WESTERLY CORNER OF H/C RAMP NORTHWEST CORNER OF 77TH AVE SE & SE 29TH ST
ELEVATION: 83.92

AREA:
THE SHOWN CONTAINS 255,328 SQUARE FEET OR 5.8753 ACRES, MORE OR LESS.

SITE ADDRESS:
3003 77TH AVENUE SE
MERCER ISLAND, WA 98040

CONTOUR:
LEGAL DESCRIPTION:
PARCEL 1A:
LOTS 7 THROUGH 12, BLOCK 11, MOLIVRAS ISLAND ADDITION, ACCORDING TO THE PLAT THEREIN RECORDED IN VOLUME 16 OF PLATS, PAGE 58, IN KING COUNTY, WASHINGTON, EXCEPT THE EAST 10 FEET CONVEYED FOR ROAD BY DEED RECORDED DECEMBER 1, 1958 UNDER RECORDING NO. 60418/14, IN KING COUNTY, WASHINGTON.

PARCEL 1B:
AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES AS SET FORTH IN RECORDING NO. 7907268/16 OF OFFICIAL RECORDS, AND BENEFITTING LOTS 7 THROUGH 12, BLOCK 11, MOLIVRAS ISLAND ADDITION, ACCORDING TO PLAT RECORDED IN VOLUME 16 OF PLATS, PAGE 58, IN KING COUNTY, WASHINGTON.

BASIS OF BEARING:
THE BEARING OF NORTH 89 33 14" WEST OF PLUMB MONUMENTS ON SOUTHEAST 29TH STREET, BETWEEN ITS INTERSECTION WITH 77TH AVENUE SOUTHEAST AND 76TH AVENUE SOUTHEAST.

VERTICAL DATUM:
NAVD 88

BASE:
WILD WSDOT BR #6477 FOUND WOOD DISC ON NORTH END OF 70ND AVE SE BRIDGE ON THE SURFACE OF CONCRETE WALK, ALSO +/- 50 FEET FROM NE CORNER OF BRIDGE.
ELEVATION: 110.98' (NAVD 88)

SITE #1:
SET N48 AND HAS NAIL SOUTHWEST OF SITE, SHOWN HEREIN.
ELEVATION: 84.82' (NAVD 88)

SITE #2:
SET N45 AND HASHER EAST OF SITE, SHOWN HEREIN.
ELEVATION: 84.82' (NAVD 88)

AREA:
C=1.3
S=1.3
P=1.3

SITE ADDRESS:
SOUTHEAST

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2023 WSDOT STANDARD PLANS & SPECIFICATIONS, UNLESS NOTED OTHERWISE. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION.
2. BASE MAP USED IN CIVIL DRAWINGS IS A COMPILATION OF SURVEYS BY BUSH, ROED & HITCHINGS, INC (BRH, DATED 4/16/2021) AND CONTOUR ENGINEERING LLC (CONTOUR, DATED 10/29/2021; REVISED 4/5/2023). APPROXIMATE BOUNDARY BETWEEN SURVEYS IS NOTED ON CIVIL PLANS. IF ANY DISCREPANCIES ARE FOUND IN THE FIELD FROM WHAT IS SHOWN IN THE SURVEY THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF DISCREPANCY PRIOR TO CONSTRUCTION TO MODIFY DESIGN ACCORDINGLY.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, SUPPLIES, AND INCIDENTALS REQUIRED TO COMPLETE ALL WORK SHOWN ON THESE DRAWINGS AND TO OBTAIN INSPECTOR ACCEPTANCE BY THE CITY OF MERCER ISLAND.
4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL REGULATIONS AND WITH THE 2023 WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION.
5. THE INTENT OF THESE DRAWINGS IS TO PRESCRIBE A COMPLETE WORK. OMISSIONS FROM THE DRAWINGS OR DETAIL OF WORK WHICH ARE NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING THE OMITTED WORK.
6. ANY PROPOSED ALTERATIONS BY THE CONTRACTOR AFFECTING THE REQUIREMENTS AND INFORMATION IN THESE DRAWINGS SHALL BE IN WRITING AND WILL REQUIRE APPROVAL OF THE ENGINEER AND INSPECTOR.
7. OWNER AND CONTRACTOR SHALL TOGETHER COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ADJACENT PROPERTY OWNERS, DRIVEWAYS AND UTILITY SERVICES SHALL REMAIN ACCESSIBLE AT ALL TIMES.
8. ALL AREAS DISTURBED BEYOND PROPOSED IMPROVEMENTS DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL "PRE-CONSTRUCTION" STATE OR BETTER.
9. CONTRACTOR SHALL DETERMINE OWNER AND CITY OF MERCER ISLAND RECORD DRAWING REQUIREMENTS FOR BELOW GRADE UTILITIES. CONTRACTOR SHALL SCHEDULE UTILITY OBSERVATIONS BY ENGINEER PRIOR TO BACKFILLING IF ENGINEER APPROVAL OR DOCUMENTATION IS REQUIRED. KPFF WILL NOT CERTIFY/APPROVE RECORD DOCUMENTS OF WORK WE HAVE NOT OBSERVED.
10. ALL CONSTRUCTION METHODS AND ACTIVITIES SHALL BE IN ACCORDANCE WITH THE PERMIT, FINAL PLANS, AND SPECIFICATIONS AS APPROVED BY THE CITY OF MERCER ISLAND. THE CITY OF MERCER ISLAND AND ITS REPRESENTATIVES SHALL BE PROVIDED ACCESS TO THE WORK AND ANY ADDITIONAL INFORMATION AS REQUIRED TO ACCOMMODATE PERMIT COMPLIANCE.
11. KEEP WORK ON PRIVATE PROPERTY UNLESS NOTED OTHERWISE. COORDINATE ALL WORK IN THE RIGHT OF WAY WITH CITY OF MERCER ISLAND.

PROJECT NOTES

1. PROVIDE SUBMITTALS OF PRODUCTS AND MATERIALS NEEDED TO COMPLETE THE WORK FOR CIVIL ENGINEER'S REVIEW AND APPROVAL. SUBMIT CONCRETE JOINTING PLAN FOR LANDSCAPE ARCHITECT AND CIVIL ENGINEER'S REVIEW AND APPROVAL.
2. STRUCTURAL FILL SHALL CONSIST OF SELECTED IMPORTED, CLEAN, FREE-DRAINING GRAVEL AND/OR SAND WITH THE AMOUNT OF FINE-GRAINED MATERIAL LIMITED TO 5 PERCENT BY WEIGHT WHEN MEASURED ON THE NO. 4 SIEVE FRACTION.
3. CONCRETE SIDEWALK SHALL BE PER WSDOT STANDARD SPEC 8-14 AND CURBS SHALL BE PER WSDOT STANDARD SPEC 8-04.
4. CONTRACTOR SHALL PREPARE AND CONFIRM PAVING AND UTILITY TRENCH SUBGRADE, AND FILL/BACKFILL PLACEMENT MEETS THE FOLLOWING CRITERIA:
 - A. ALL IMPERVIOUS PAVEMENT SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO 95% MDD (MAXIMUM DRY DENSITY).
 - B. UNAUTHORIZED EXCAVATION AS WELL AS REMEDIAL WORK DIRECTED BY THE OWNER'S REPRESENTATIVE SHALL BE AT NO EXPENSE TO THE OWNER. BACKFILL UNAUTHORIZED EXCAVATION WITH STRUCTURAL FILL TO 95% MDD.
 - C. IF REQUIRED BY THE GEOTECHNICAL ENGINEER, PROVIDE EQUIPMENT AND LABOR FOR PROOF ROLLING.
 - D. WHERE SOFT SPOTS ARE IDENTIFIED OR OCCUR, REMOVE AND REPLACE WITH STRUCTURAL FILL AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
4. FINAL GRADES SHALL COMPLY WITH DOCUMENTATION ON THE PLANS WITHIN A TOLERANCE OF 1/2-INCH, WHEN TESTED WITH A 10-FOOT STRAIGHTEDGE AND BE UNIFORMLY GRADED BETWEEN ELEVATIONS AND GRADE BREAKS SHOWN ON THE PLAN.
5. PROTECT WORK COMPLETED AND PROVIDE REPAIRS AS NECESSARY IF DAMAGE OCCURS.

CONTRACTOR IS ALERTED TO THE FACT THAT WORK WILL BE ACCOMPLISHED AROUND ACTIVE PSE GAS AND ELECTRICAL FACILITIES THAT ARE SERVING EXISTING CUSTOMERS. CONTRACTOR SHALL COORDINATE WITH PSE TO DETERMINE WHICH FACILITIES ARE ACTIVE AND ENERGIZED AND SHALL IMPLEMENT SAFETY PROCEDURES PER PSE REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH PSE TO ENSURE THAT FACILITIES ARE IN PLACE TO MAINTAIN SERVICE TO CUSTOMERS THROUGHOUT CONSTRUCTION.

CITY OF MERCER ISLAND PERMIT APPROVAL IS STILL PENDING AND ADDITIONAL COMMENTS MAY BE ISSUES THAT COULD AFFECT CIVIL DESIGN SCOPE.

RIOT GAMES
3003 77th Avenue Southeast
Mercer Island
WA 98040

Gensler

1205 Sixth Avenue
Suite 500
Seattle, WA 98101
United States
Tel: 206.654.2100
Fax: 206.654.2121

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

Date	Description
04/21/2023	ISSUE CD 50%
05/10/2023	ISSUE CD 90%
05/19/2023	ISSUE FOR PERMIT
10/06/2023	PLAN CHECK CORRECTIONS

Seal / Signature



Project Name
Riot Games Seattle - Exterior Upgrades
Project Number
05.3853.000
Description
COVER SHEET

Scale

C0.00

RIOT GAMES

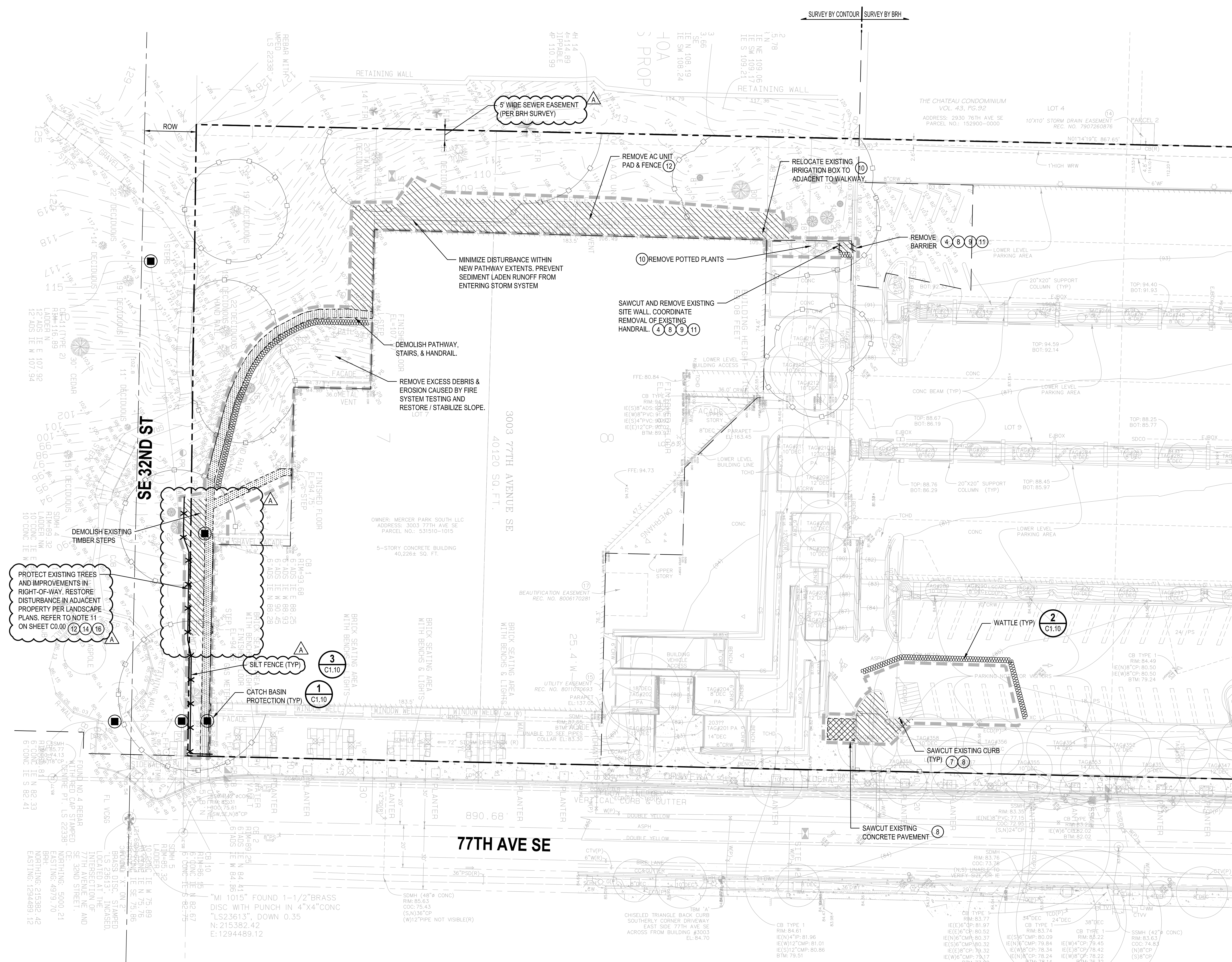
3003 77th Avenue Southeast
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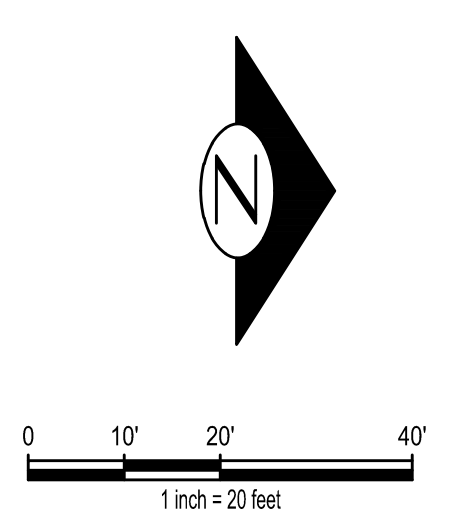
PROTECT EXISTING TREES AND IMPROVEMENTS IN RIGHT-OF-WAY. RESTORE DISTURBANCE IN ADJACENT PROPERTY PER LANDSCAPE PLANS. REFER TO NOTE 11 ON SHEET C0.00 (12, 14, 16)

NOTES:

1. PROVIDE SEDIMENT CONTROL MEASURES TO PREVENT SEDIMENT LADEN RUN OFF AND/OR CONCENTRATED FLOW FROM LEAVING THE LIMITS OF CONSTRUCTION OR DISCHARGING TO THE ADJACENT STREETS. CONTRACTOR SHALL INSTALL AND ADJUST TESC MEASURES, INCLUDING STOCKPILE COVERING AS NEEDED TO MANAGE RUN OFF FROM CHANGING CONDITIONS AND WEATHER AND TO MEET CITY OF MERCER ISLAND SURFACE WATER REQUIREMENTS.
2. PERFORM NECESSARY DEMOLITION, EXCAVATION, CLEARING, AND GRUBBING WITHIN LIMITS OF WORK TO COMPLETE CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL STRUCTURES/UTILITIES LOCATED WITHIN WORK LIMITS THAT ARE TO BE DEMOLISHED OR PROTECTED PRIOR TO CONSTRUCTION. IF EXISTING ITEMS ARE FOUND IN FIELD THAT ARE NOT REFLECTED IN THE SURVEY, CONTRACTOR SHALL COORDINATE PROTECTION, REMOVAL, OR RELOCATION WITH ENGINEER AND OWNER.
3. PREVENT DISTURBANCE BEYOND THE LIMITS OF WORK. DEMOLITION BEYOND WORK LIMITS OR DAMAGE TO EXISTING FACILITIES/UTILITIES TO REMAIN SHALL BE REPAIRED IN KIND AT CONTRACTOR'S COST.
4. COORDINATE CONSTRUCTION ACCESS FOR THE WORK ALONG THE WEST AND SOUTH OF BUILDING WITH CITY, OWNER, AND ARCHITECT.
5. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS EXCEPT THOSE CALLED OUT TO BE DEMOLISHED.
6. REFER TO PARKING PLANS FOR LOCATION OF PROPOSED CURB CUTS.
7. MAKE A VERTICAL SAW CUT BETWEEN ANY EXISTING IMPROVEMENTS TO REMAIN AND THE PORTION TO BE REMOVED.
8. REPLACE AT NO EXPENSE TO THE OWNER ANY EXISTING IMPROVEMENTS TO REMAIN THAT ARE DAMAGED DURING THE REMOVAL OF OTHER IMPROVEMENTS.
9. DEMOLITION OF EXISTING PANEL STRUCTURE AND SAWCUT OF EXISTING SITE WALL IS REQUIRED TO CONSTRUCT NEW PATHWAY CONNECTION. COORDINATE WITH OWNER, ARCHITECT, AND STRUCTURAL ENGINEER FOR PANEL REMOVAL EXTENTS. PROTECT EXISTING WALL, CURB, AND SLAB STRUCTURE.
10. COORDINATE WITH LANDSCAPE ARCHITECT.
11. COORDINATE WITH ARCHITECT.
12. COORDINATE WITH OWNER.
13. COORDINATE WITH STRUCTURAL ENGINEER.
14. COORDINATE WITH CITY OF MERCER ISLAND.
15. STAKE OUT PATHWAY EXTENTS. REMOVE TOPSOIL WITHIN 1 FOOT HORIZONTAL OFFSET OF PATHWAY SECTION. COMPACT NATIVE SUBGRADE. PLACE STRUCTURAL FILL TO PROPOSED PAVEMENT SECTION SUBGRADE. PRESERVE TOPSOIL WITHIN LANDSCAPE AREAS BEING MODIFIED.
16. STAGING OR STORAGE OF BUILDING MATERIALS OR DEMO MATERIALS IS NOT PERMITTED IN THE RIGHT-OF-WAY.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY CENTERLINE
- LIMITS OF CONSTRUCTION
- SILT FENCE
- SAWCUT
- CB/INLET PROTECTION
- COMPOST SOCK
- PATH DEMOLITION
- PAVING REMOVAL
- CLEAR & GRUB, REFER TO NOTE 15
- APPROXIMATE SURVEY BOUNDARY
- TREE PROTECTION FENCING, REFER TO LANDSCAPE PLANS



Date	Description
04/21/2023	ISSUE CD 50%
05/10/2023	ISSUE CD 90%
05/19/2023	ISSUE FOR PERMIT
10/06/2023	PLAN CHECK CORRECTIONS

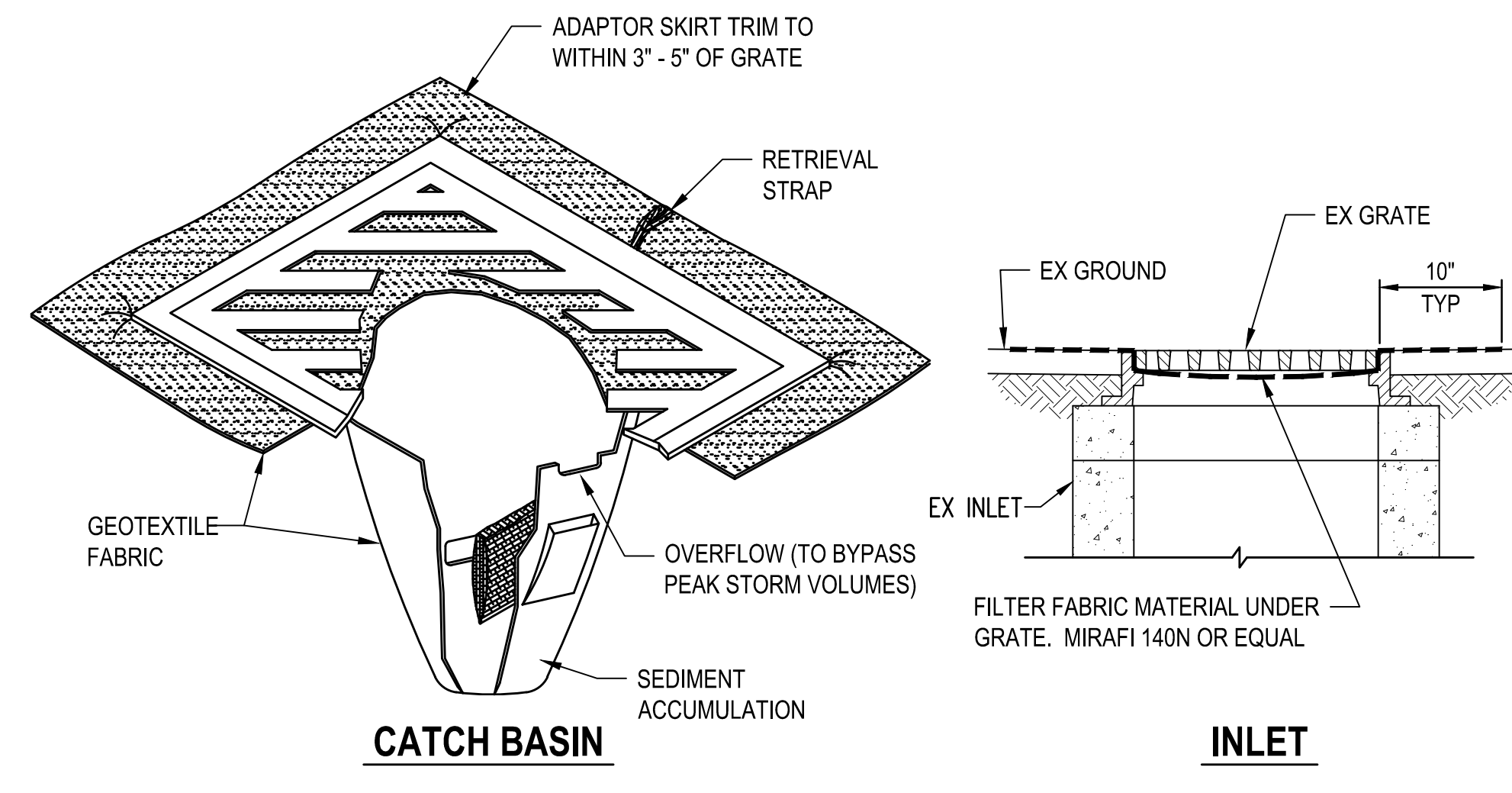
Seal / Signature



Project Name
Riot Games Seattle - Exterior Upgrades
Project Number
05.3853.000
Description
DEMOLITION & TESC PLAN

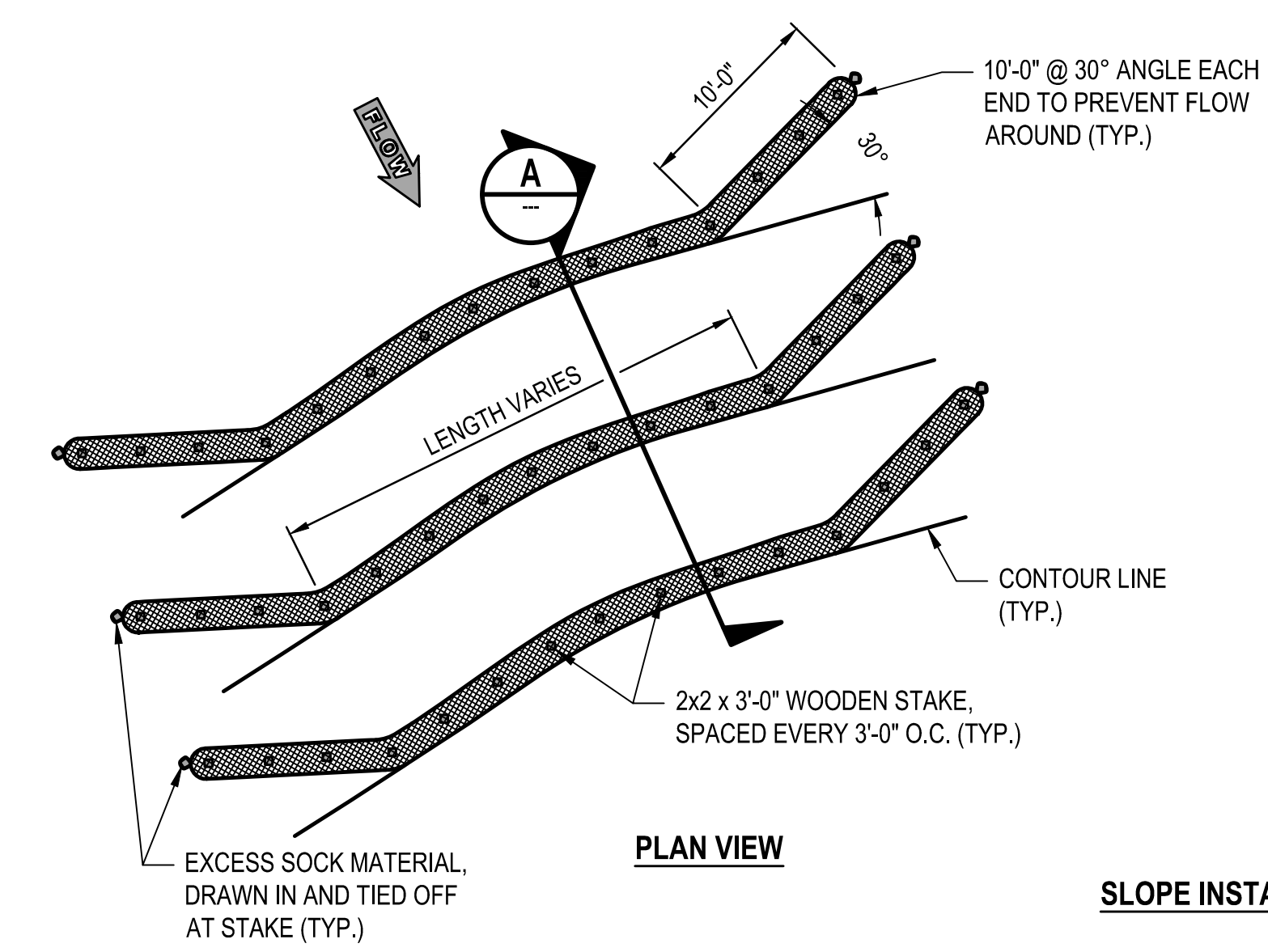
Scale

C1.00



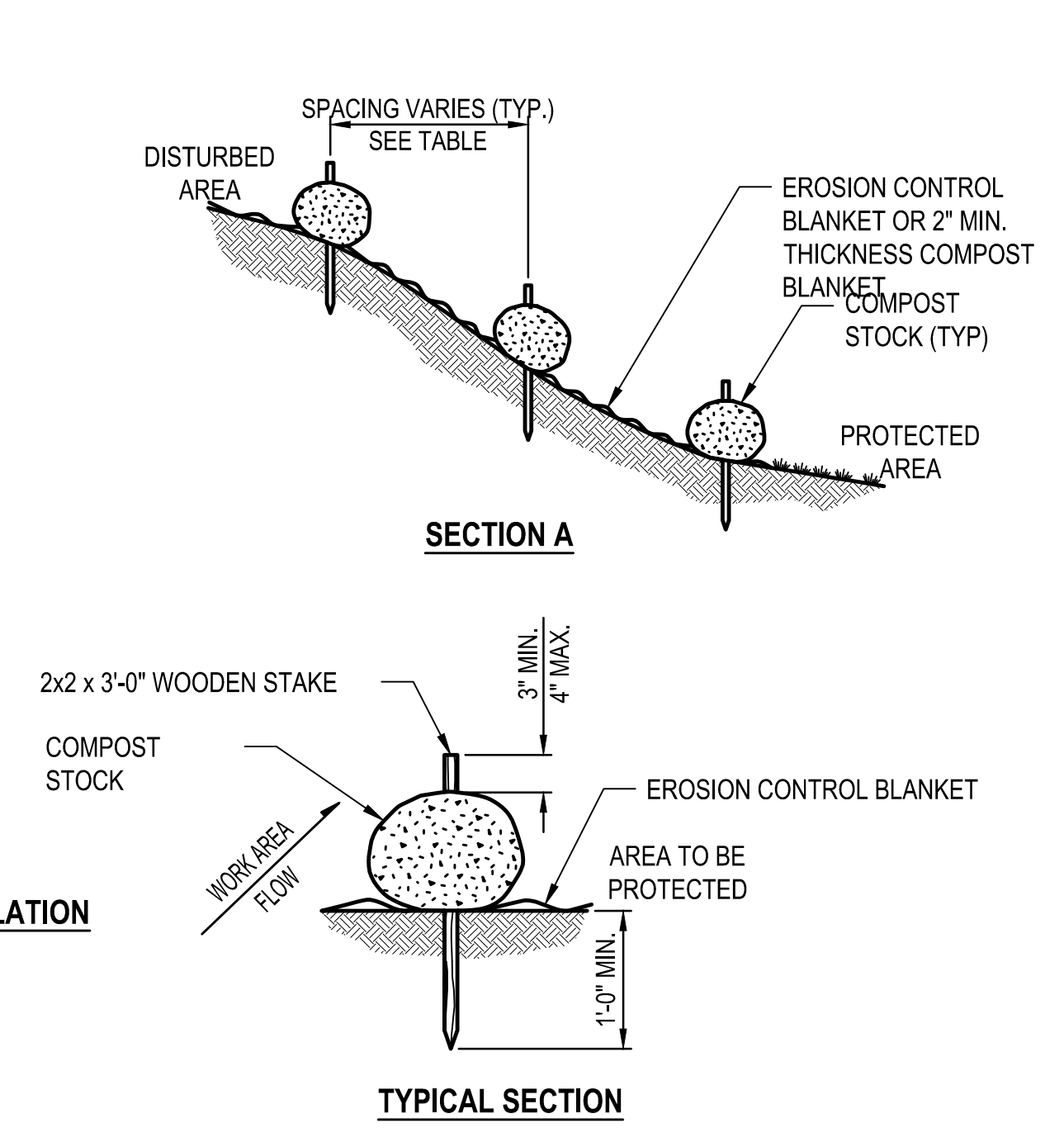
- NOTES:**
1. CB/INLET INSERTS NEED TO BE REMOVED AT THE END OF THE JOB.
 2. CB/INLET INSERTS ARE ONLY TO BE INSTALLED IN DRAINAGE DEVICES PER THE MANUFACTURER'S RECOMMENDATIONS. CATCH BASIN INLET INSERTS ARE NOT TO BE INSTALLED IN CURB INLETS.
 3. INLET INSERTS SHALL BE INSPECTED AND MAINTAINED WHEN A 1/2 INCH RAIN ACCUMULATES WITHIN A 24 HOUR PERIOD.
 4. CB/INLET INSERTS SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY, OR UPON PLACEMENT OF A NEW CATCH BASIN.
 5. SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES 1/3 FULL OR MANUFACTURER'S INSTRUCTIONS.
 6. SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE CB/INLET INSERTS, EMPTYING, AND RE-INSERTING IT INTO THE CATCH BASIN/INLET.

CATCH BASIN PROTECTION DETAIL 1
NTS C1.00



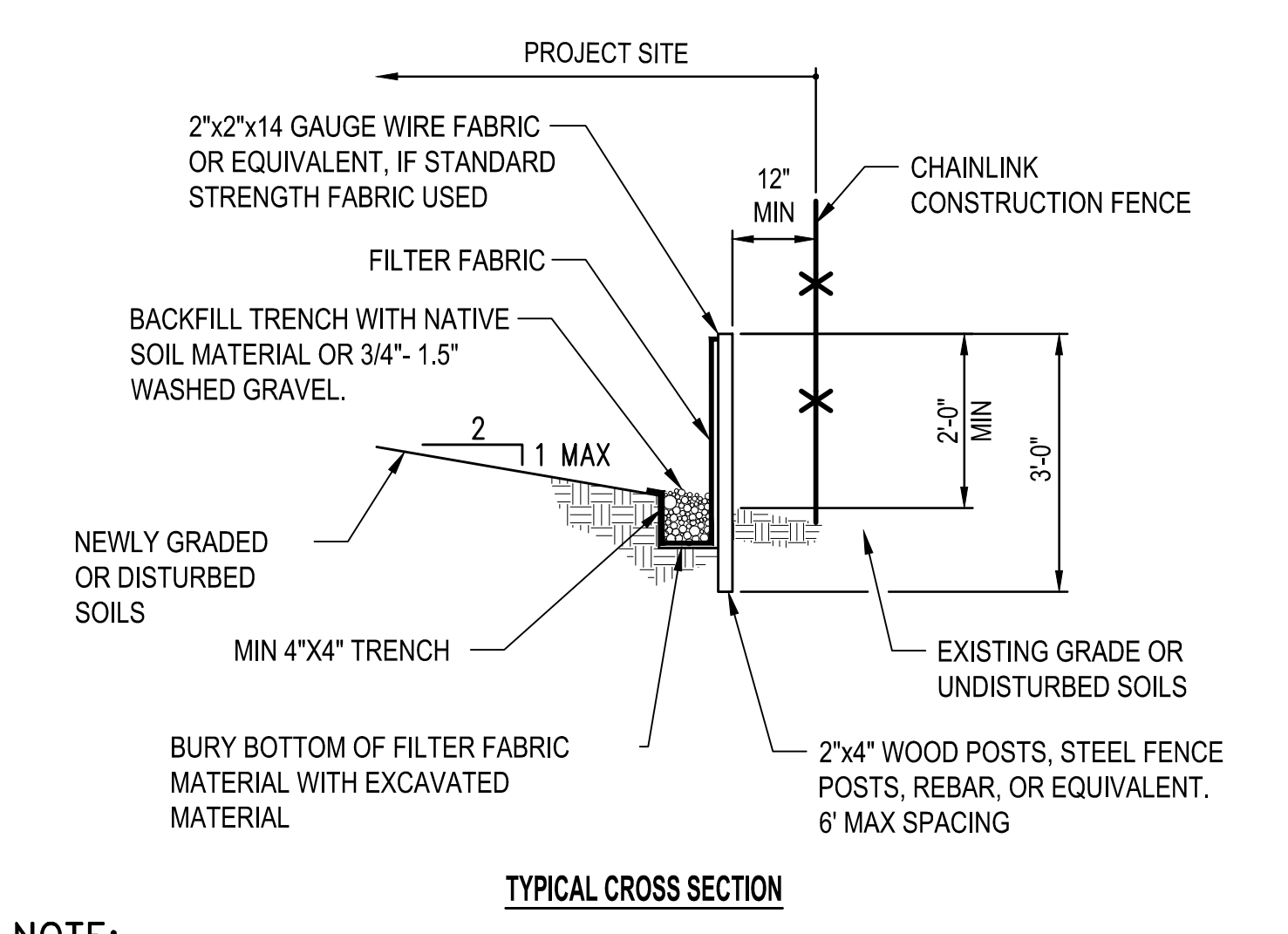
- NOTES:**
1. COMPOST SOCK SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATION 9-14.6(5). COMPOST SOCK SHALL BE A MINIMUM OF 6" IN DIAMETER OR SIZED TO SUIT CONDITIONS.
 2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
 3. WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IN ACCORDANCE WITH STANDARD SPECIFICATION 9-14.6(2), OR COMPOST BLANKET. SEE STANDARD PLAN I-30.40.
 4. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
 5. REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.
 6. LIVE STAKES CAN BE USED IN ADDITION TO WOODEN STAKES AND SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATION 9-14.6(1). SEE PLANS FOR SPECIES SELECTION AND SPACING.

COMPOST SOCK DETAIL 2
NTS C1.00



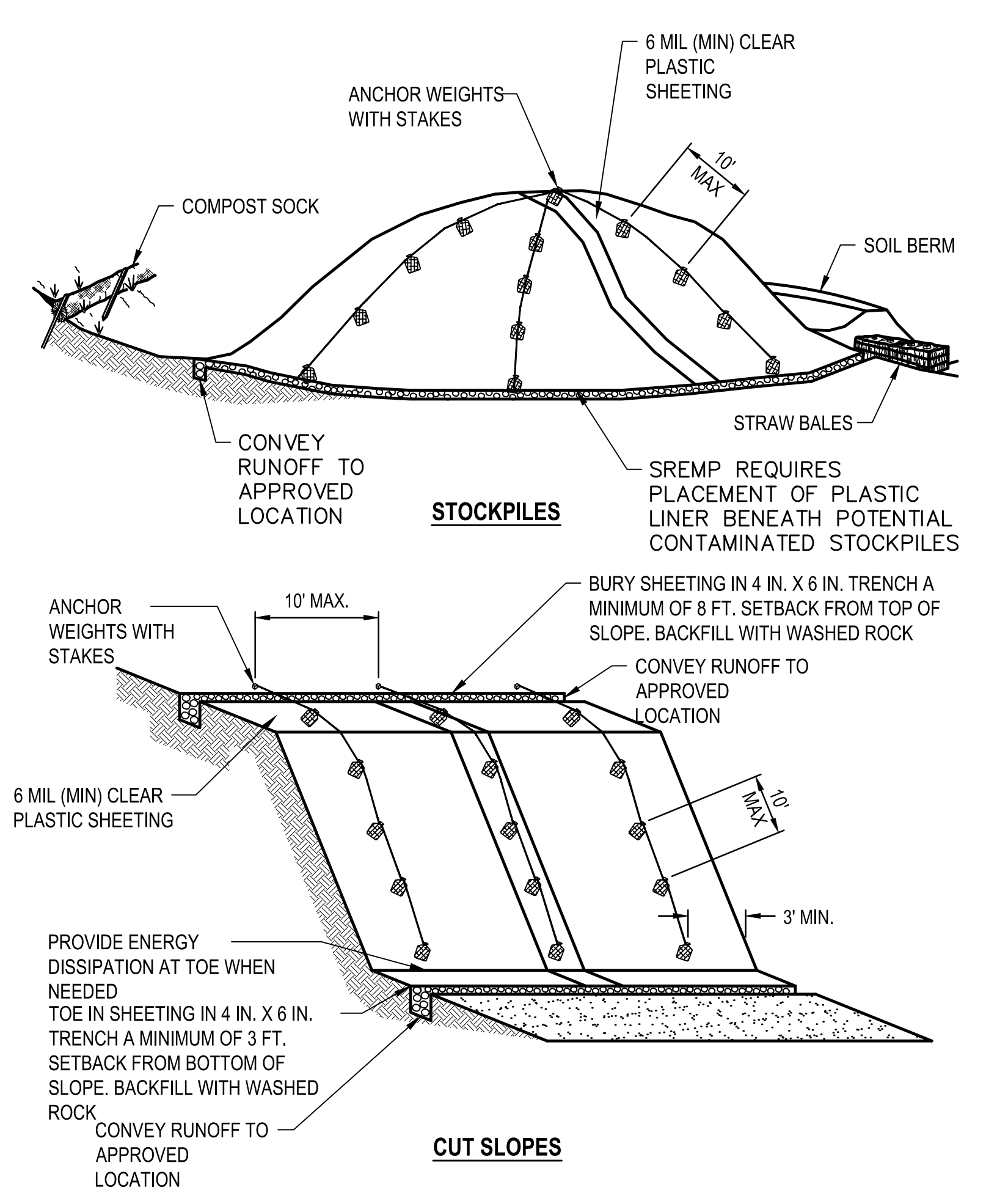
COMPOST SOCK SPACING TABLE

SLOPE	MAXIMUM SPACING
2.0:1	15'
2.5:1	20'
3.0:1	25'



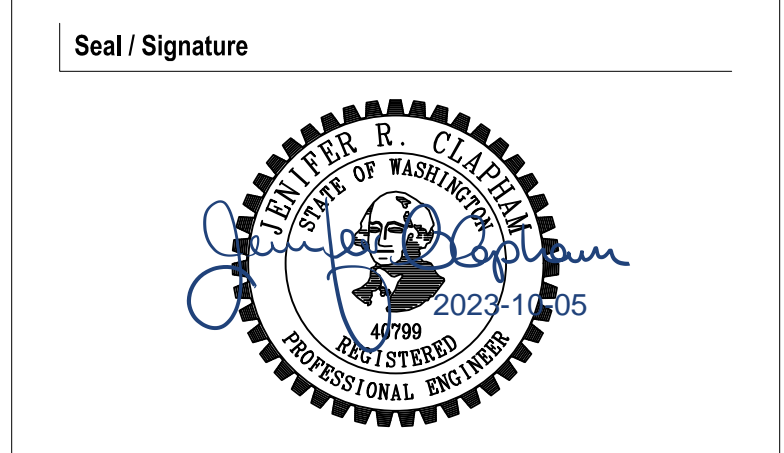
- NOTE:**
1. SILT FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.
 2. ANGLE SILT FENCE BACK UP THE SLOPE AT THE END OF THE RUN.
 3. SILT FENCE SHALL BE REMOVED AT THE END OF THE JOB.
 4. WHERE THE FENCE IS INSTALLED, THE SLOPE SHALL BE NO STEEPER THAN 2H:1V.
 5. JOINTS IN FILTER FABRIC SHALL BE SPLICED AT POSTS. USE STAPLES, WIRE RINGS, OR EQUIVALENT TO ATTACH FABRIC TO POSTS.
- MAINTENANCE STANDARDS**
1. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
 2. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
 3. IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGNS OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCURS, REPLACE THE FENCE OR REMOVE THE TRAPPED SEDIMENT.
 4. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6" HIGH.
 5. IF THE FILTER FABRIC HAS DETERIORATED, IT SHALL BE REPLACED.

SILT FENCE DETAIL 3
NTS C1.00



STOCKPILE COVER DETAIL 4
NTS C1.00

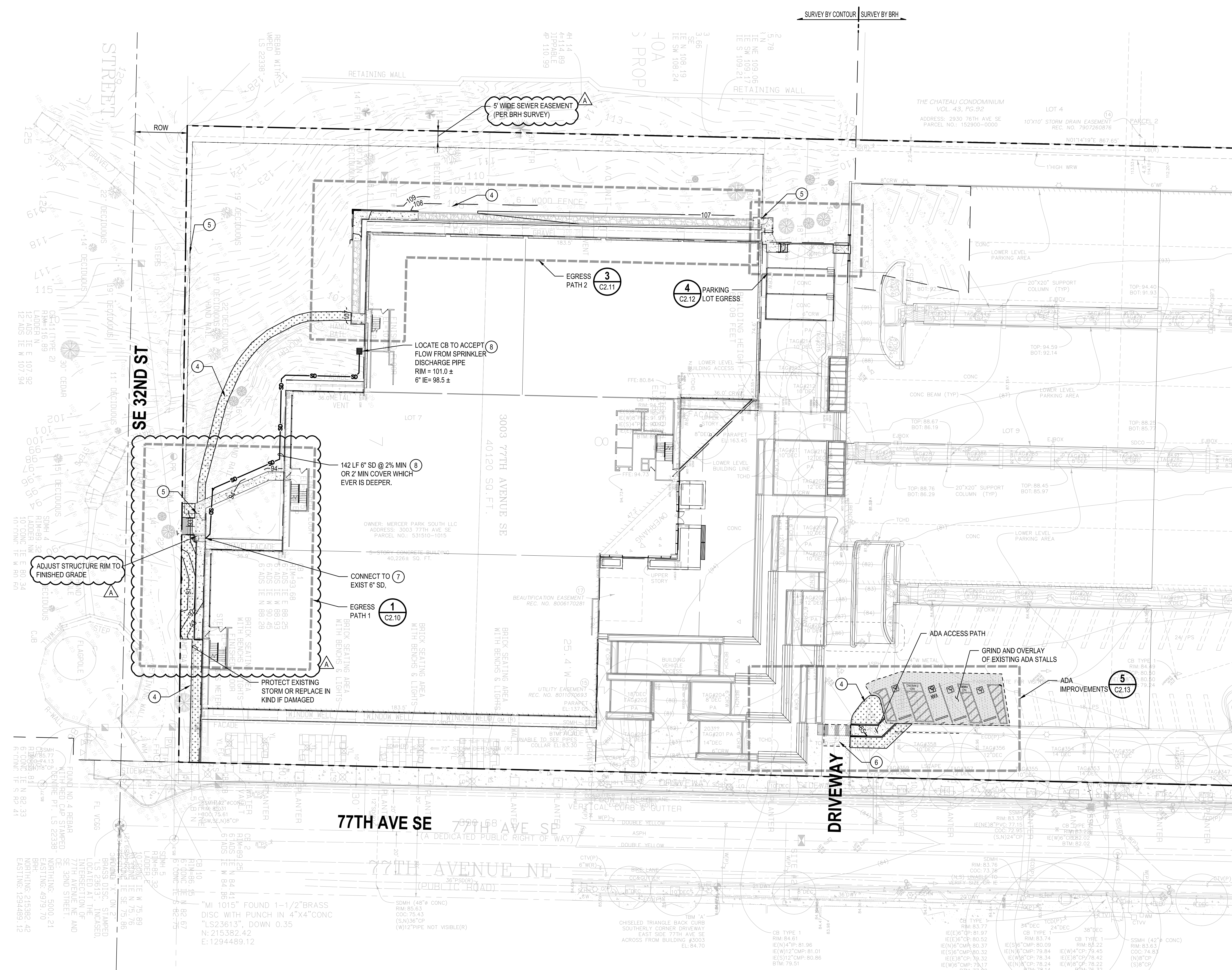
Date	Description
04/21/2023	ISSUE CD 50%
05/10/2023	ISSUE CD 90%
05/19/2023	ISSUE FOR PERMIT
10/06/2023	PLAN CHECK CORRECTIONS



Project Name
Riot Games Seattle - Exterior Upgrades

Project Number
05.3853.000

Description
TESC DETAILS



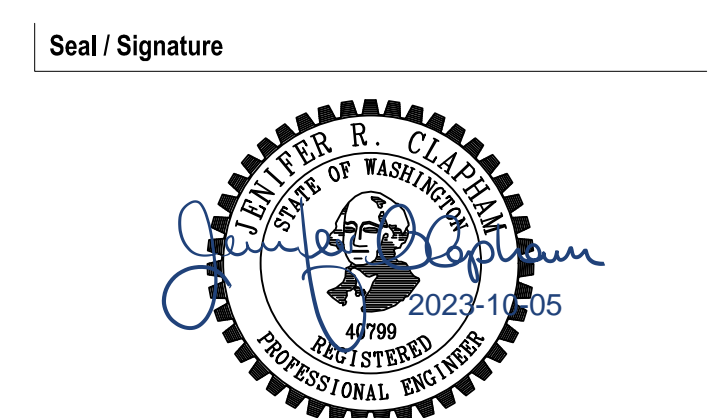
NOTES:

- REFER TO PARKING PLANS FOR PARKING STALL AND ADA PATH LAYOUT. CONFIRM EXISTING GRADES PRIOR TO BEGINNING ADA PATH CONSTRUCTION AND COORDINATE WITH ENGINEER IF GRADES DIFFER FROM SURVEY.
- REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF EGRESS PATHWAYS.
- INSTALL ISOLATION JOINTS BETWEEN BUILDINGS, WALLS, AND CONCRETE PAVEMENT PER WSDOT STANDARD PLAN F-30.10-04 EXPANSION JUNT DETAIL.
- REFER TO LANDSCAPE PLANS FOR PLANTING/RESTORATION AND FENCE LAYOUT AND DETAILS.
- REFER TO ARCHITECT PLANS FOR GATE DETAILS AND LAYOUT.
- CONCRETE DRIVE PAVEMENT THICKNESS SHALL BE 6" CONCRETE OVER 6" CSBC OR MATCH EXISTING, WHICHEVER IS GREATER PER WSDOT STANDARD SPEC. 8.06.
- LOCATE EXISTING INCOMING PIPE IN FIELD AND PROVIDE TEE FITTING TO CONNECT NEW PIPE TO EXISTING. IE PROVIDED IS APPROXIMATE AND MAY REQUIRE ADJUSTMENT IN THE FIELD. COORDINATE WITH ENGINEER IF ELEVATIONS DIFFER THAN THOSE PROVIDED.
- CONTRACTOR SHALL PROVIDE SEPARATE LINE ITEM WHEN PRICING THIS SCOPE OF WORK.

LEGEND

- PROPERTY LINE
- PROPOSED CONTOURS
- EXISTING CONTOURS
- SPOT ELEVATION
- 6" SD PIPE
- CATCH BASIN TYPE 1
- 2' GRIND & OVERLAY
- CEMENT CONCRETE DRIVEWAY ENTRANCE (PER WSDOT STD PLAN F-80.10-04)
- CEMENT CONCRETE SIDEWALK (PER WSDOT STD PLAN F-30.10-04)
- PERMEABLE PAVEMENT WALKWAY (C2.20)
- PLANTING RESTORATION PER LANDSCAPE
- TIMBER STEPS PER LANDSCAPE
- MULCH PER LANDSCAPE
- APPROXIMATE SURVEY BOUNDARY (REFER TO NOTE 2, SHEET C-0.00)
- GRADE BREAK
- FLUSH CURB
- MONOLITHIC SIDEWALK THICKENED CURB (C2.20)
- WALL PER STRUCTURAL AND ARCHITECT PLANS

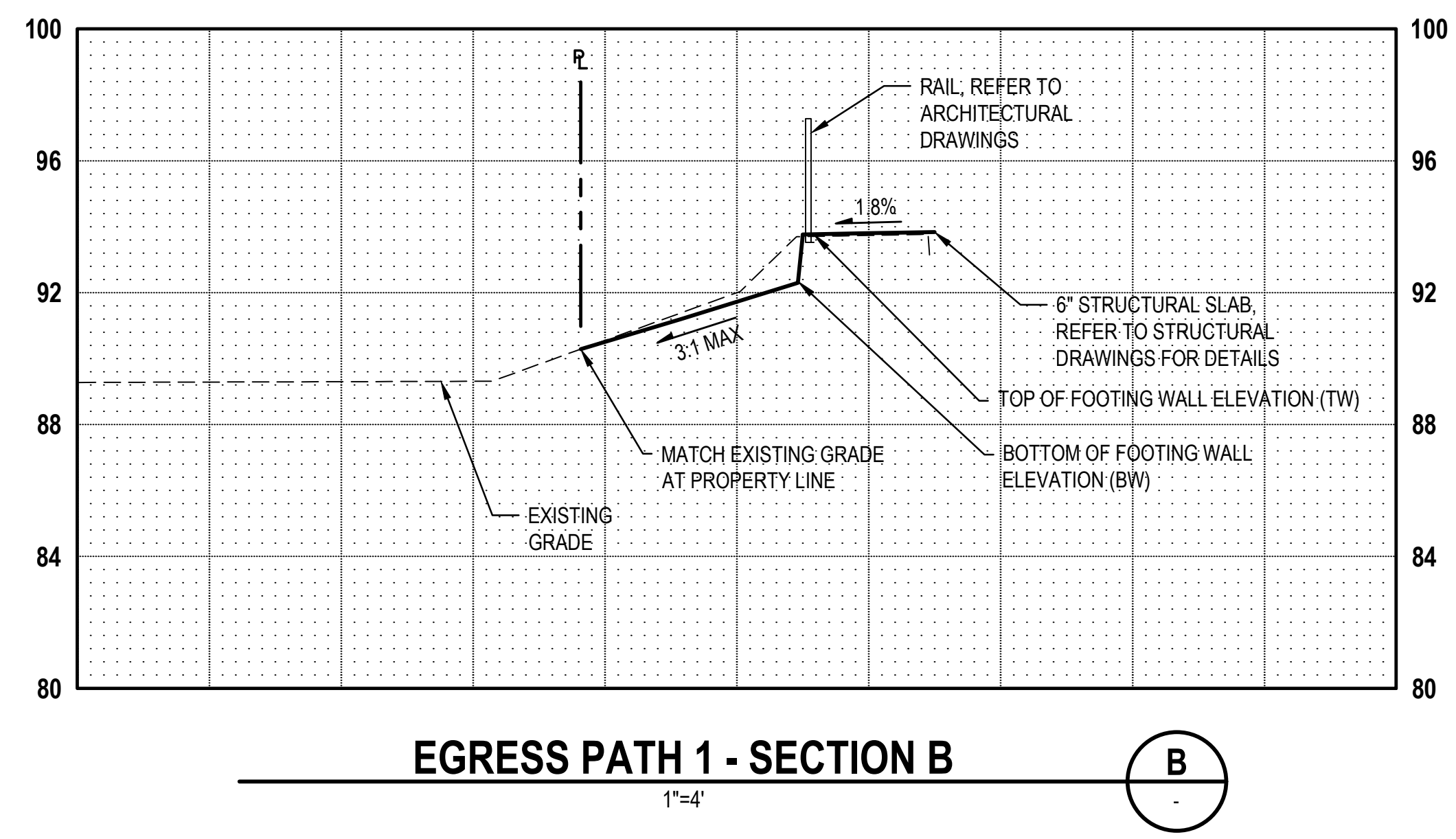
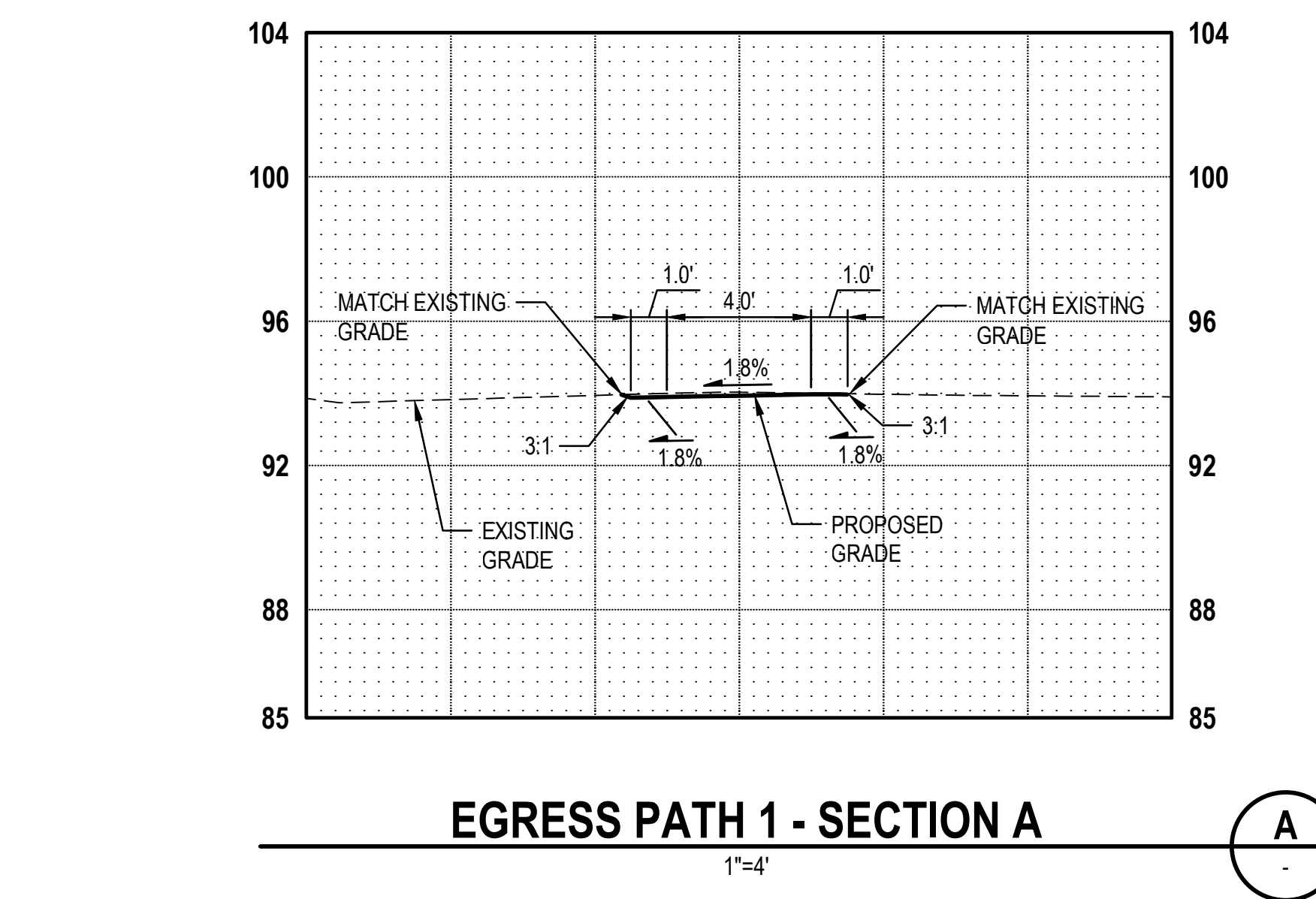
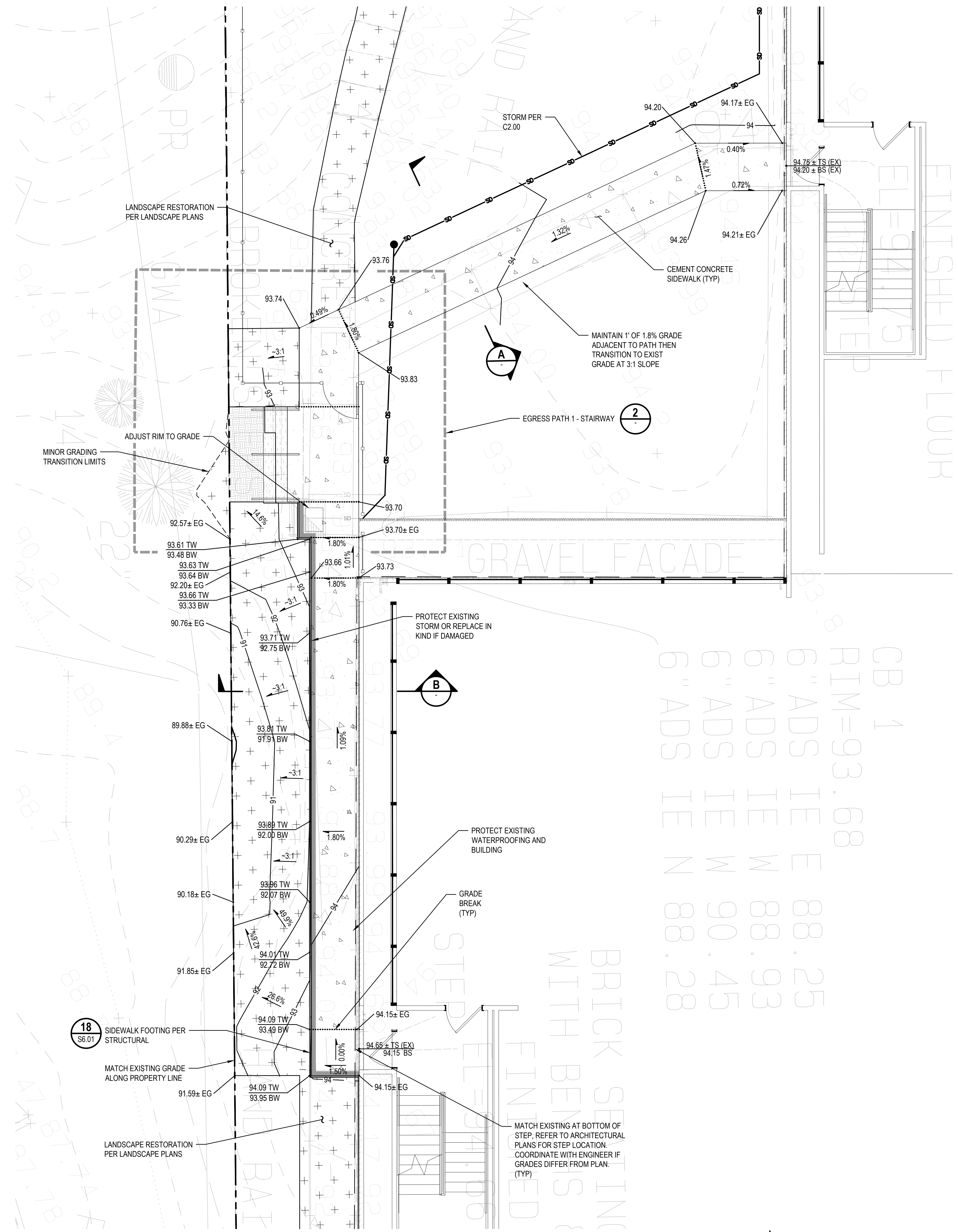
Date	Description
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05/10/2023	ISSUE CD 90%
05/19/2023	ISSUE FOR PERMIT
10/06/2023	PLAN CHECK CORRECTIONS



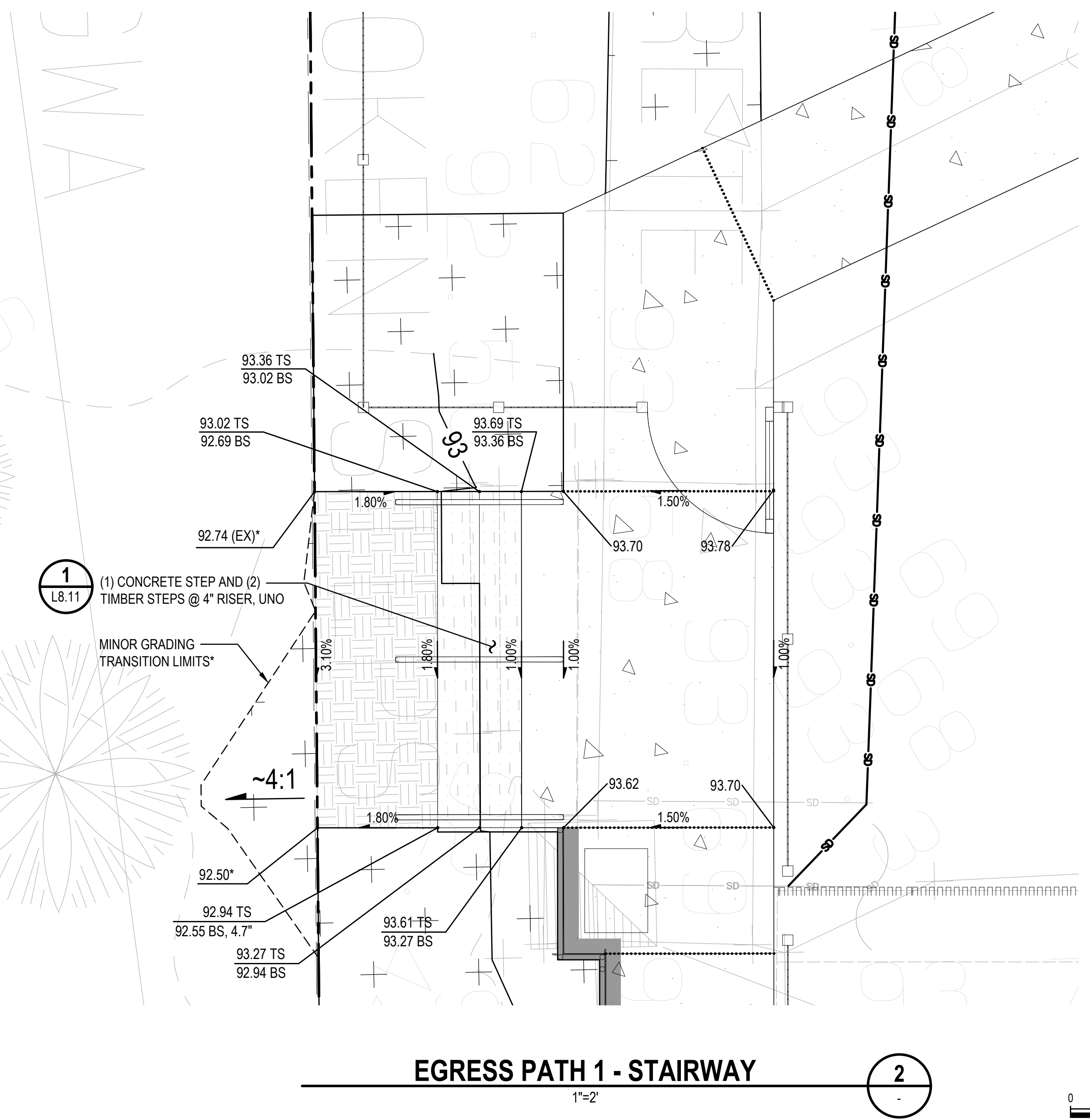
Project Name
Riot Games Seattle - Exterior Upgrades
Project Number
05.3853.000
Description
CIVIL SITE PLAN

Scale
1 inch = 20 feet

C2.00



- LEGEND**
- PROPERTY LINE
 - XX PROPOSED CONTOURS
 - (XX) EXISTING CONTOURS
 - XX SPOT ELEVATION
 - 6" SD PIPE
 - CATCH BASIN TYPE 1
 - 2" GRIND & OVERLAY
 - CEMENT CONCRETE DRIVEWAY ENTRANCE (PER WSDOT STD PLAN F-30.10-04)
 - CEMENT CONCRETE SIDEWALK (PER WSDOT STD PLAN F-30.10-04)
 - PERMEABLE PAVEMENT WALKWAY (1) C2.20
 - PLANTING RESTORATION PER LANDSCAPE
 - TIMBER STEPS PER LANDSCAPE
 - MULCH PER LANDSCAPE
 - APPROXIMATE SURVEY BOUNDARY (REFER TO NOTE 2, SHEET C-0.00)
 - GRADE BREAK
 - FLUSH CURB
 - MONOLITHIC SIDEWALK THICKENED CURB (2) C2.20
 - WALL PER STRUCTURAL AND ARCHITECT PLANS

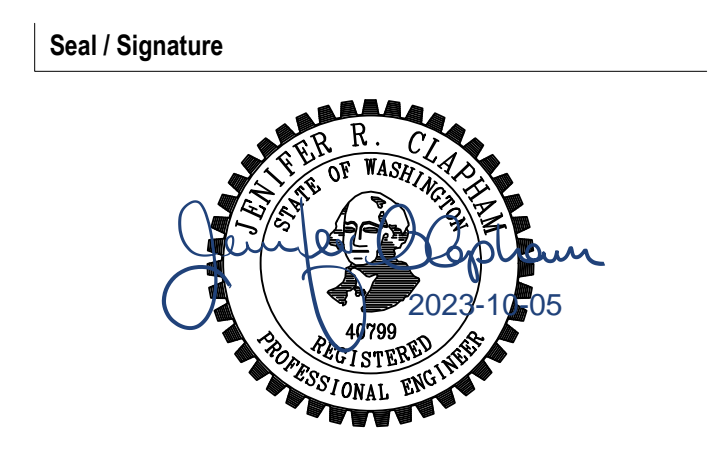


NOTES:

- REFER TO ARCHITECTURAL DRAWINGS FOR RETAINING WALL LAYOUT AND STRUCTURAL DRAWINGS FOR DETAILS.

*CONTRACTOR SHALL VERIFY GRADES AT PROPERTY LINE PRIOR TO BEGINNING CONSTRUCTION. ONCE GRADES ARE VERIFIED, COORDINATE WITH ENGINEER, LANDSCAPE ARCHITECT, AND ARBORIST TO DETERMINE ACCEPTABLE CUT/FILL PROCEDURES TO PROTECT TREES.

Date	Description
04/21/2023	ISSUE CD 50%
05/10/2023	ISSUE CD 90%
05/19/2023	ISSUE FOR PERMIT
10/06/2023	PLAN CHECK CORRECTIONS



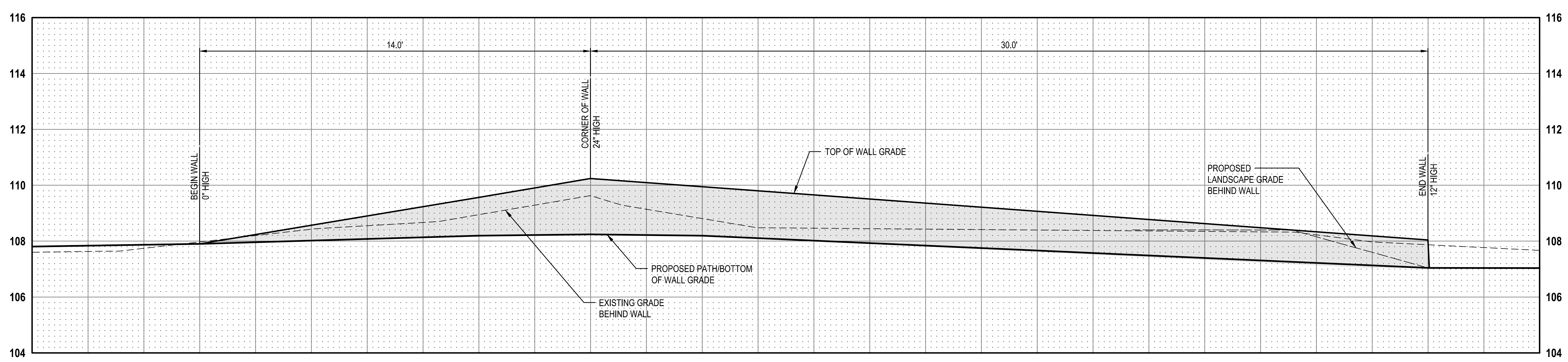
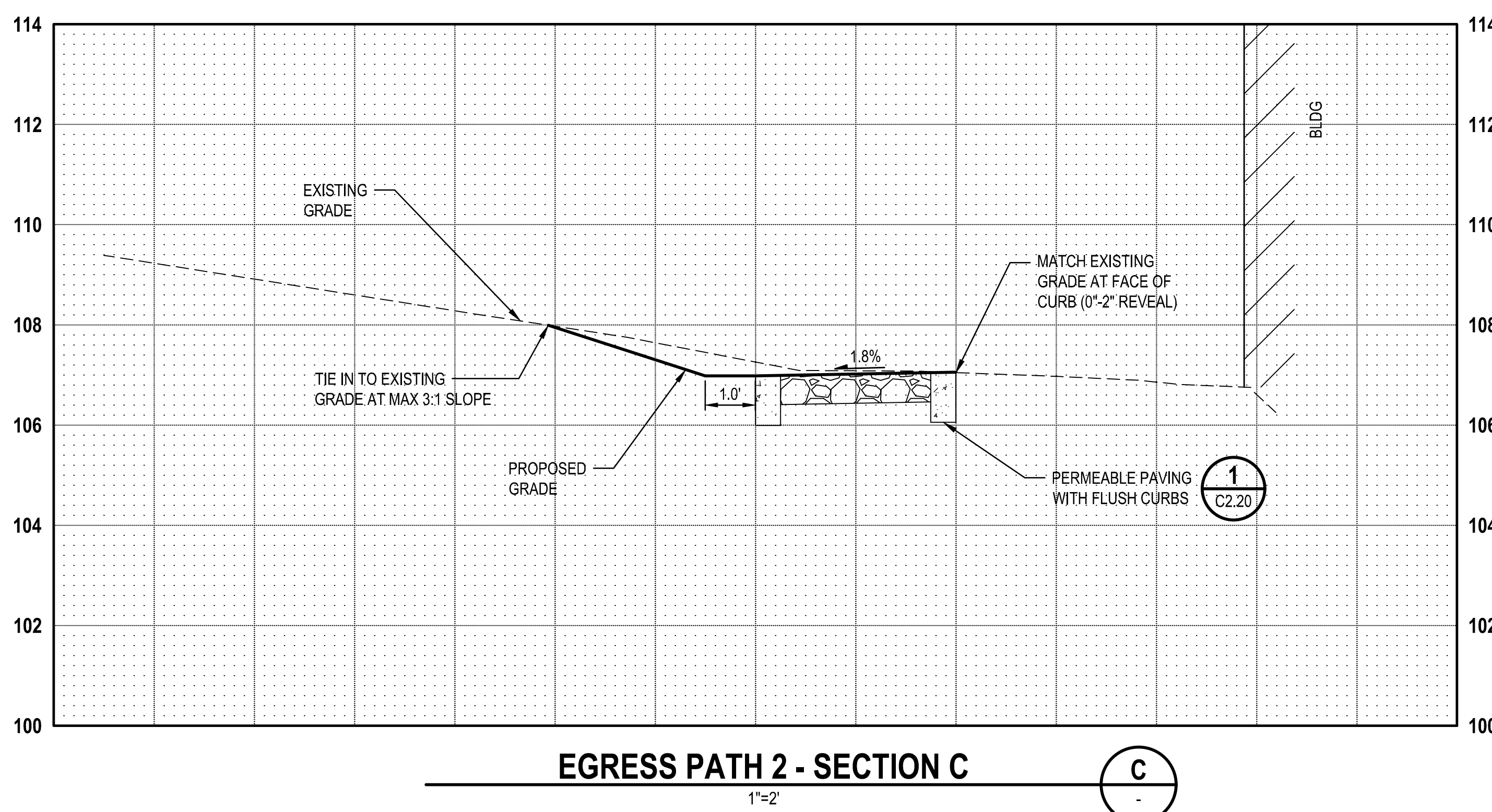
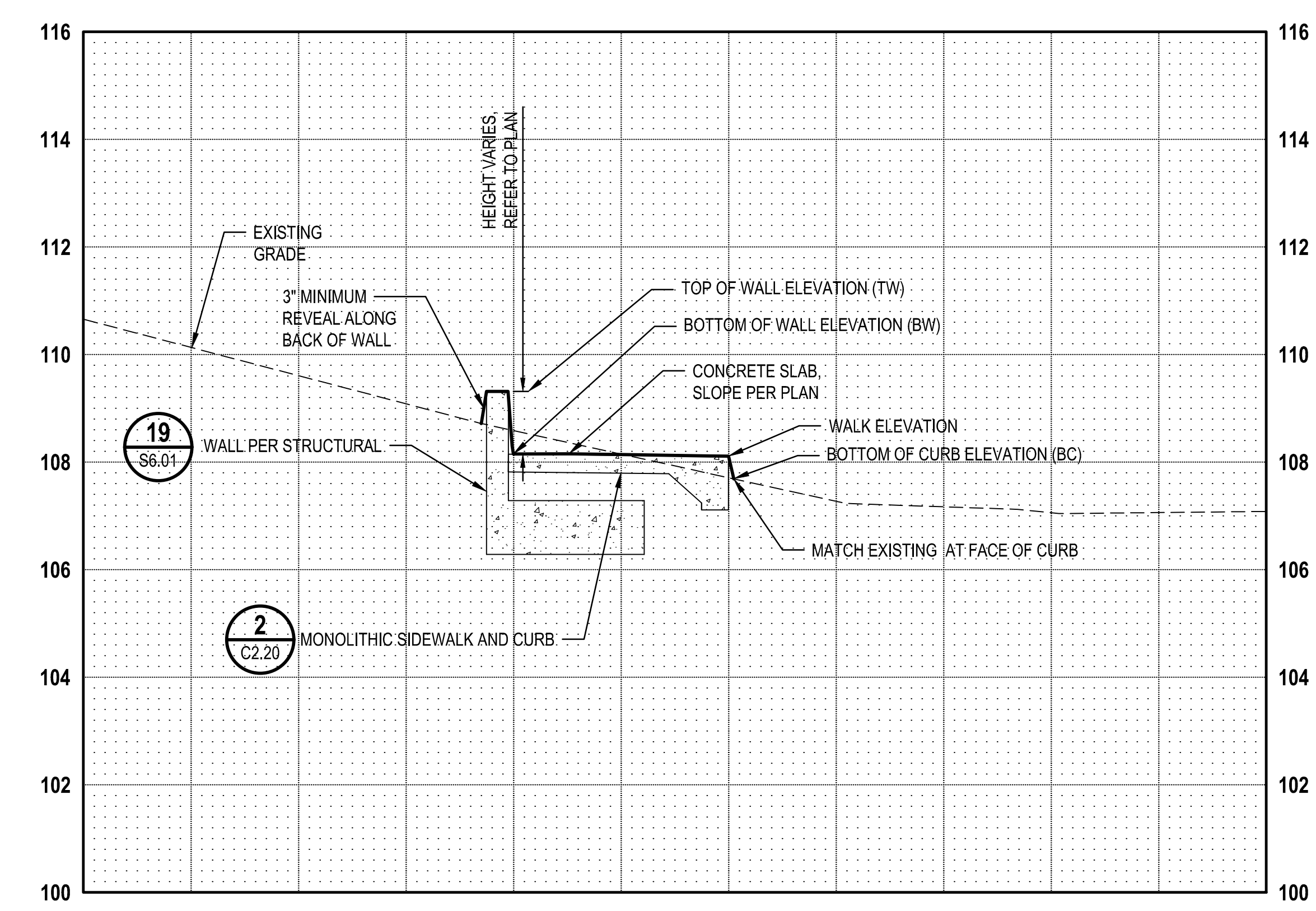
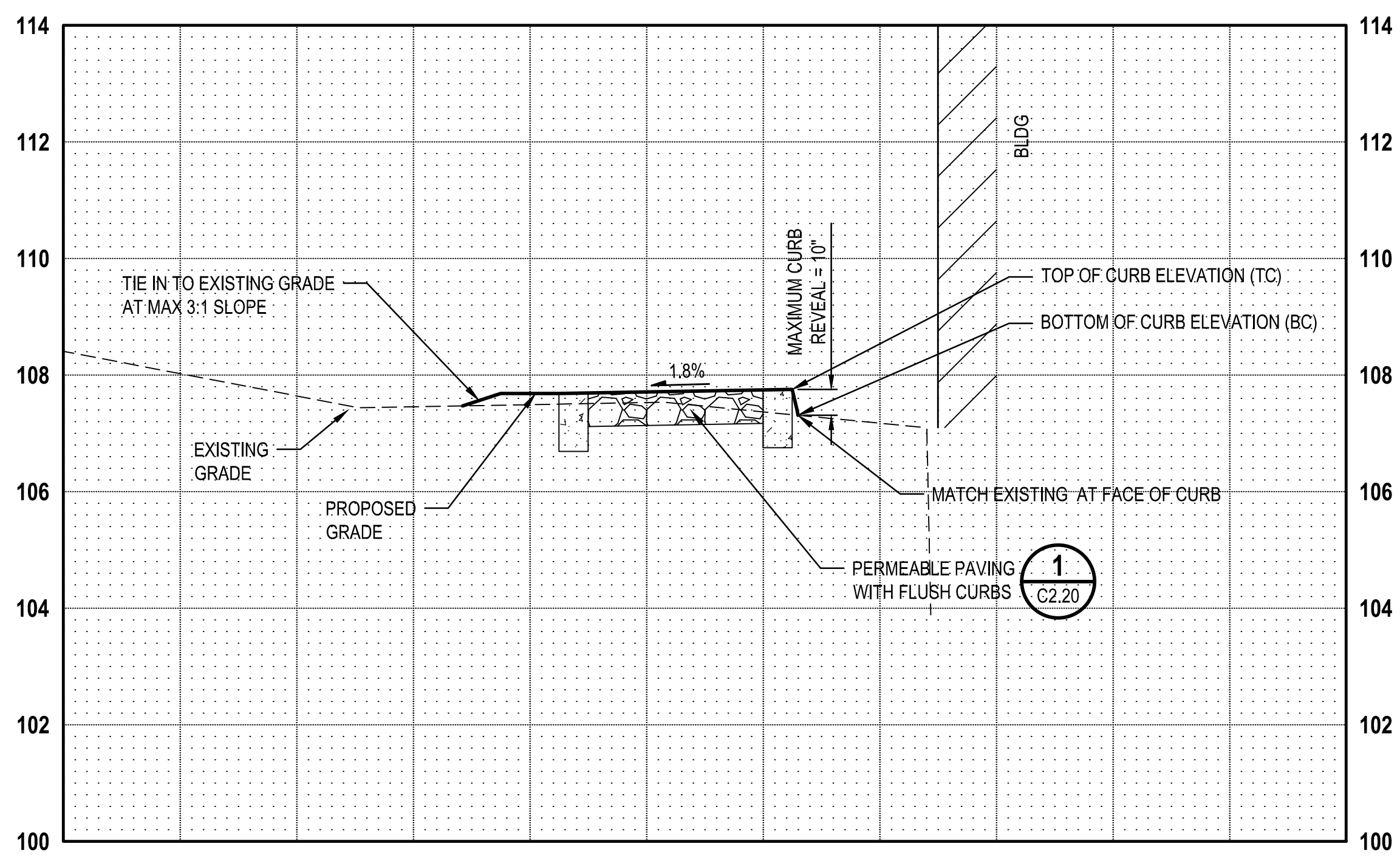
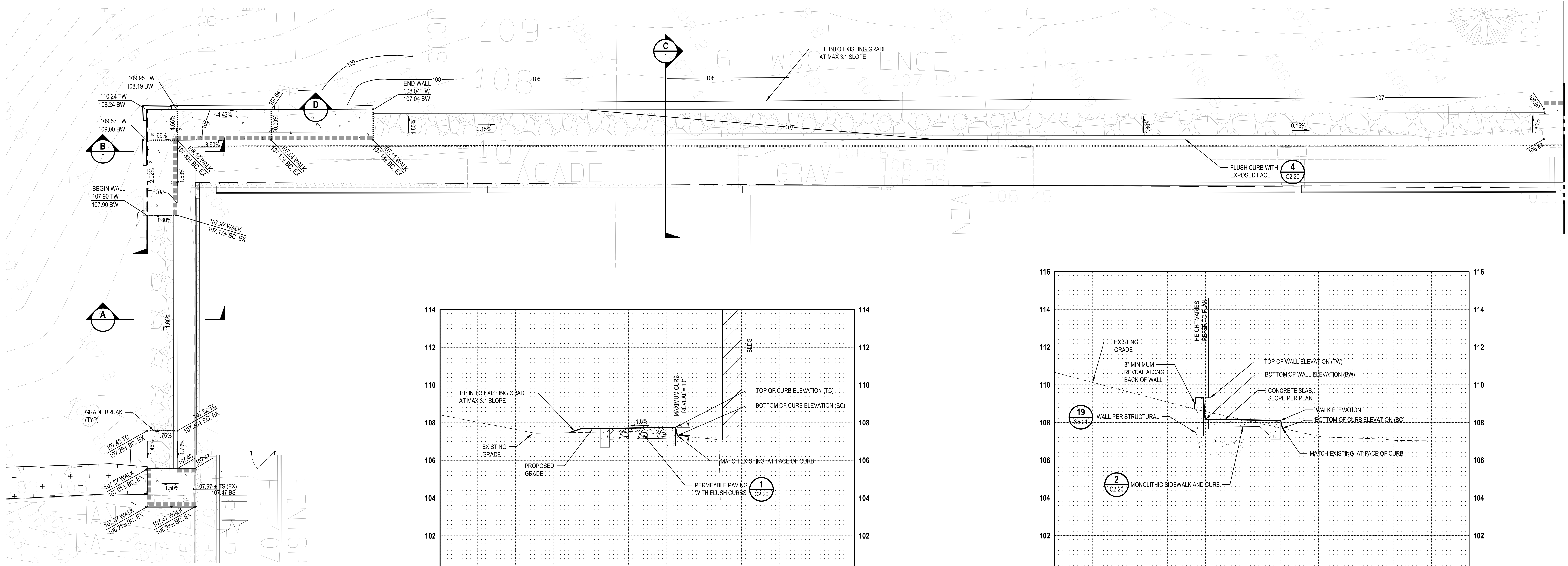
Project Name
Riot Games Seattle - Exterior Upgrades

Project Number
05.3853.000

Description
GRADING ENLARGEMENTS

Scale

C2.10



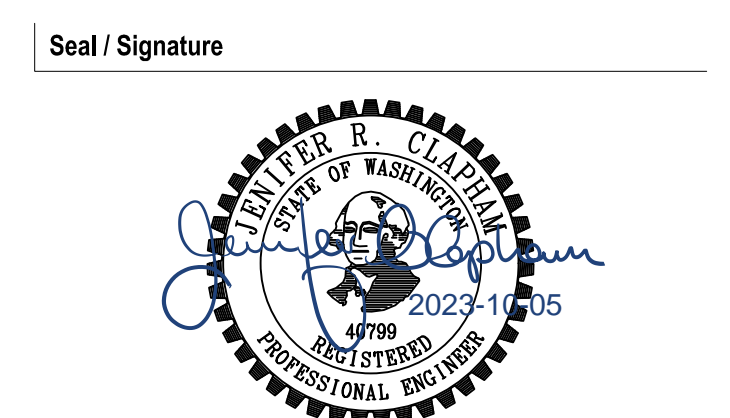
LEGEND

- PROPERTY LINE
- XX PROPOSED CONTOURS
- XX EXISTING CONTOURS
- SPOT ELEVATION
- 6" SD PIPE
- CATCH BASIN TYPE 1
- 2" GRIND & OVERLAY
- CEMENT CONCRETE DRIVEWAY ENTRANCE (PER WSDOT STD PLAN F-80.10-04)
- CEMENT CONCRETE SIDEWALK (PER WSDOT STD PLAN F-30.10-04)
- PERMEABLE PAVEMENT WALKWAY (1, C2.20)
- PLANTING RESTORATION PER LANDSCAPE
- TIMBER STEPS PER LANDSCAPE
- MULCH PER LANDSCAPE
- APPROXIMATE SURVEY BOUNDARY (REFER TO NOTE 2, SHEET C-0.00)
- GRADE BREAK
- FLUSH CURB
- MONOLITHIC SIDEWALK THICKENED CURB (2, C2.20)
- WALL PER STRUCTURAL AND ARCHITECT PLANS

NOTES:

1. REFER TO STRUCTURAL DRAWINGS FOR RETAINING WALL DETAILING.

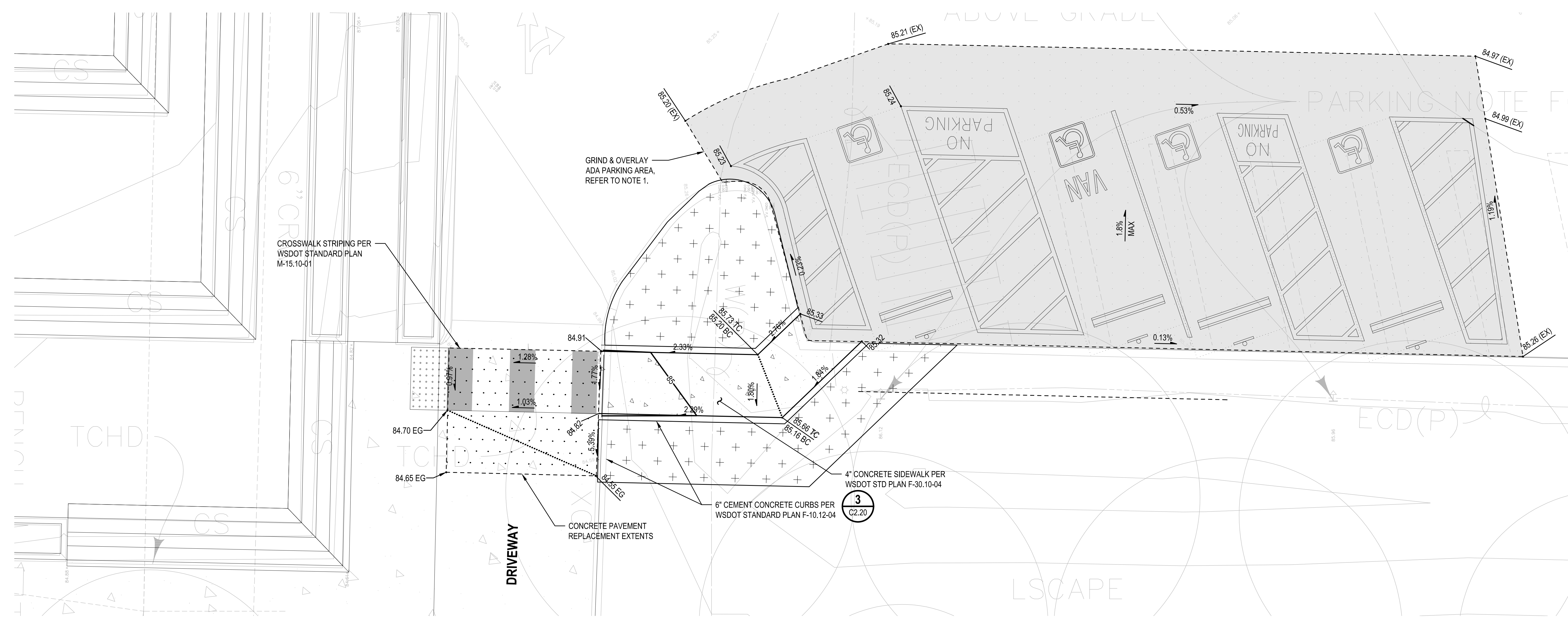
Date	Description
04/21/2023	ISSUE CD 50%
05/10/2023	ISSUE CD 90%
05/19/2023	ISSUE FOR PERMIT
10/06/2023	PLAN CHECK CORRECTIONS



Project Name
Riot Games Seattle - Exterior Upgrades

Project Number
05.3853.000

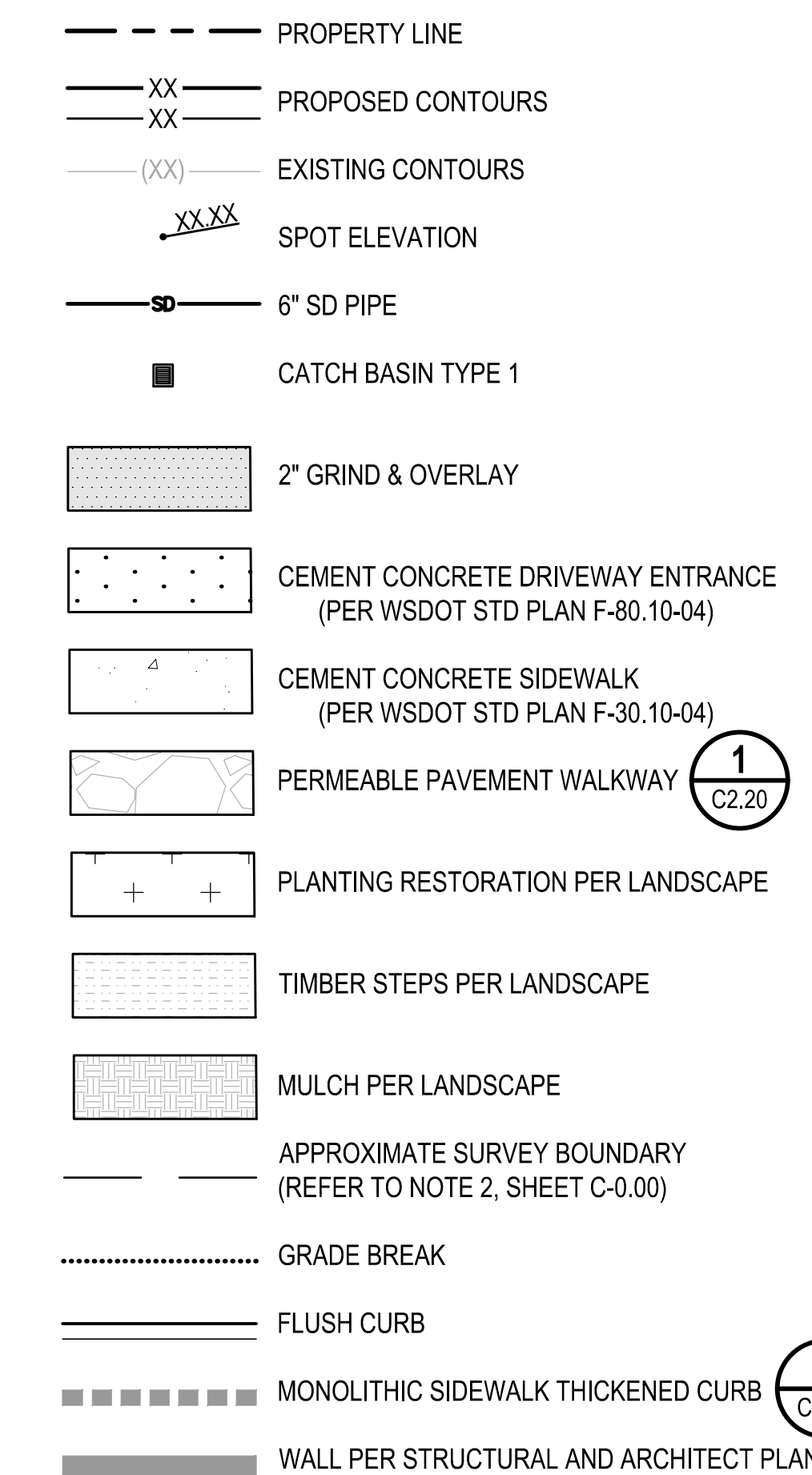
Description
GRADING ENLARGEMENTS



NOTES:

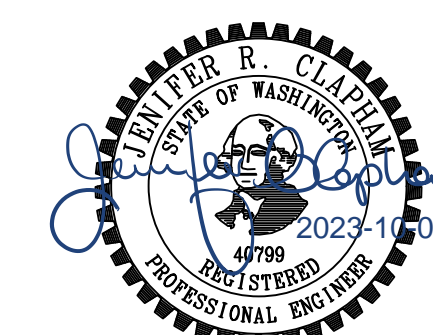
1. GRADE ADA PARKING STALL OVERLAY AND WALKWAY TO PROVIDE UNIFORM SLOPE. REMOVE LOCALIZED UNEVEN SURFACE GRADES, AND MEET ADA REQUIREMENTS.
2. PROVIDE SMOOTH TRANSITIONS BETWEEN NEW AND EXISTING SURFACE IMPROVEMENTS.

LEGEND



△ Date	Description
04/21/2023	ISSUE CD 50%
05/10/2023	ISSUE CD 90%
05/19/2023	ISSUE FOR PERMIT
10/06/2023	PLAN CHECK CORRECTIONS

Seal / Signature



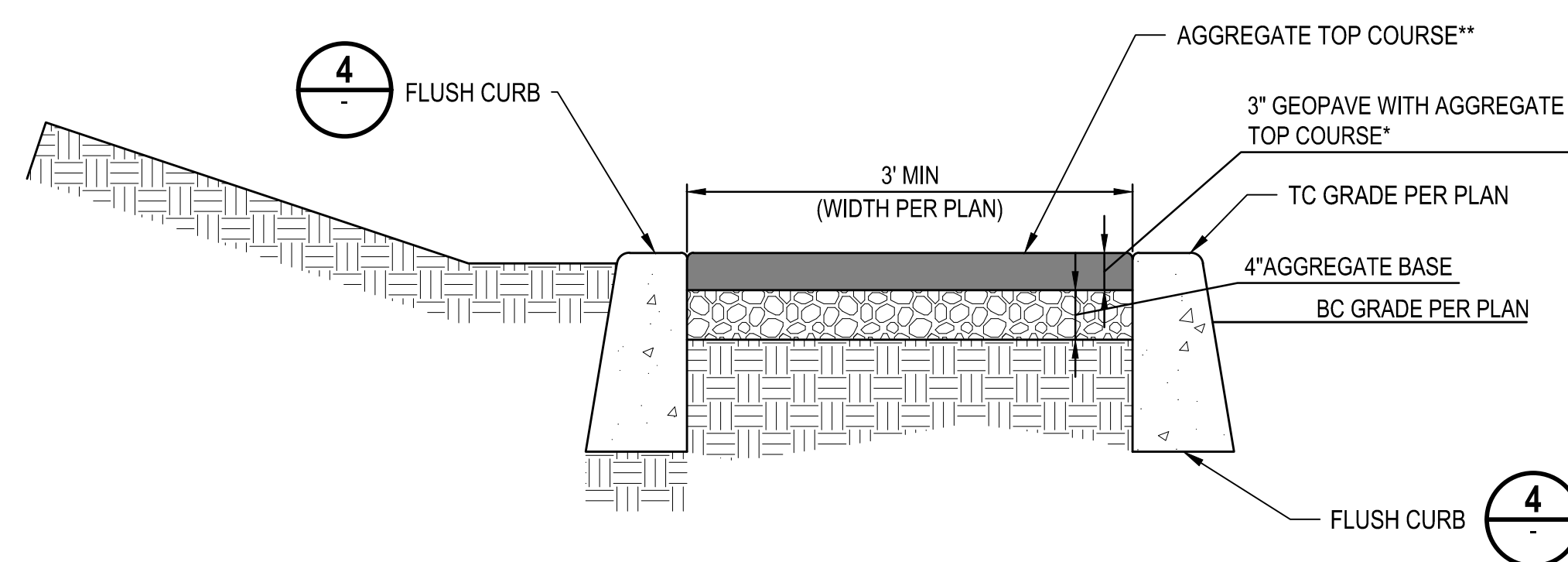
Project Name
Riot Games Seattle - Exterior Upgrades

Project Number
05.3853.000

Description
GRADING ENLARGEMENTS

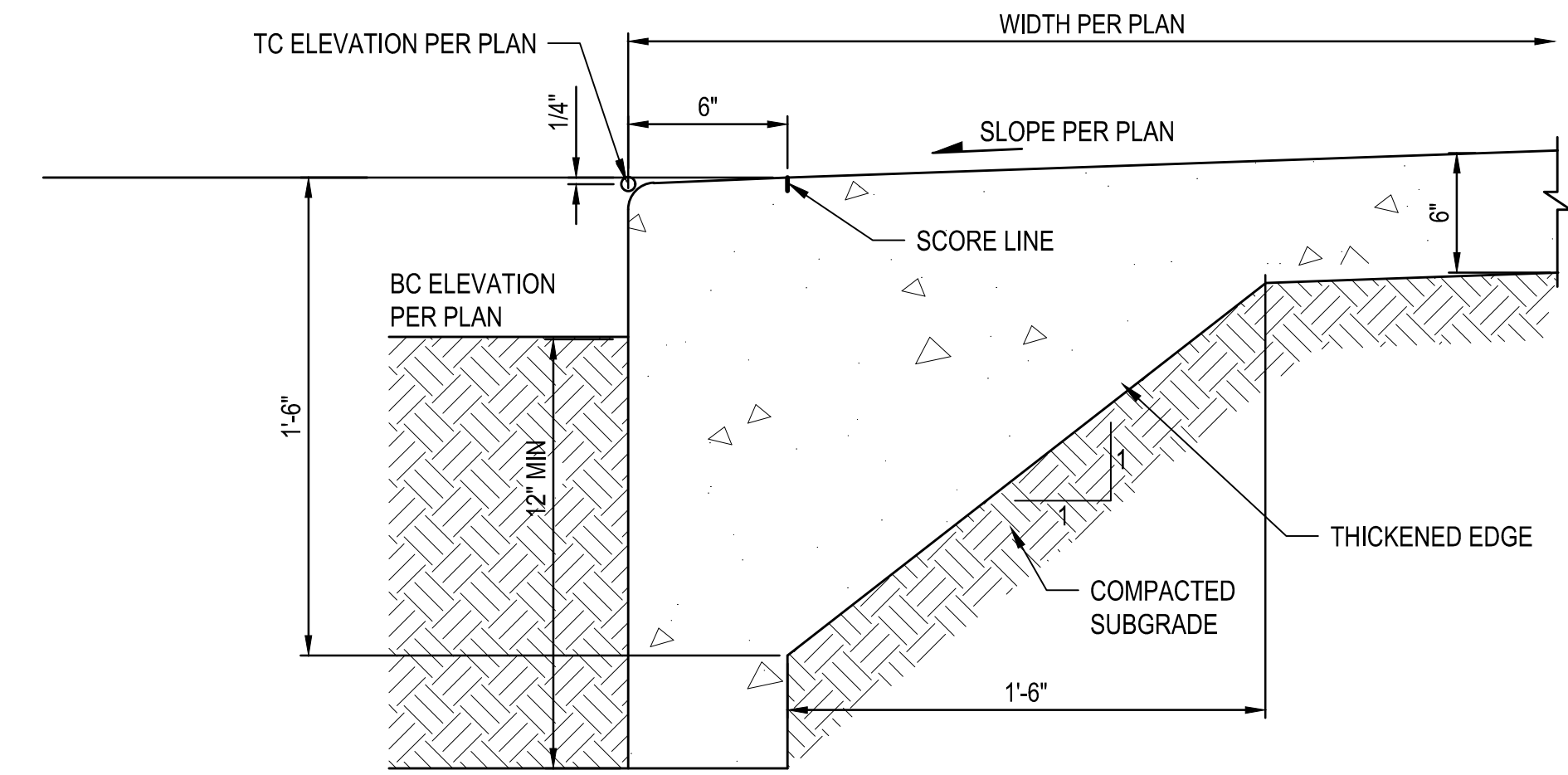
Scale

C2.13



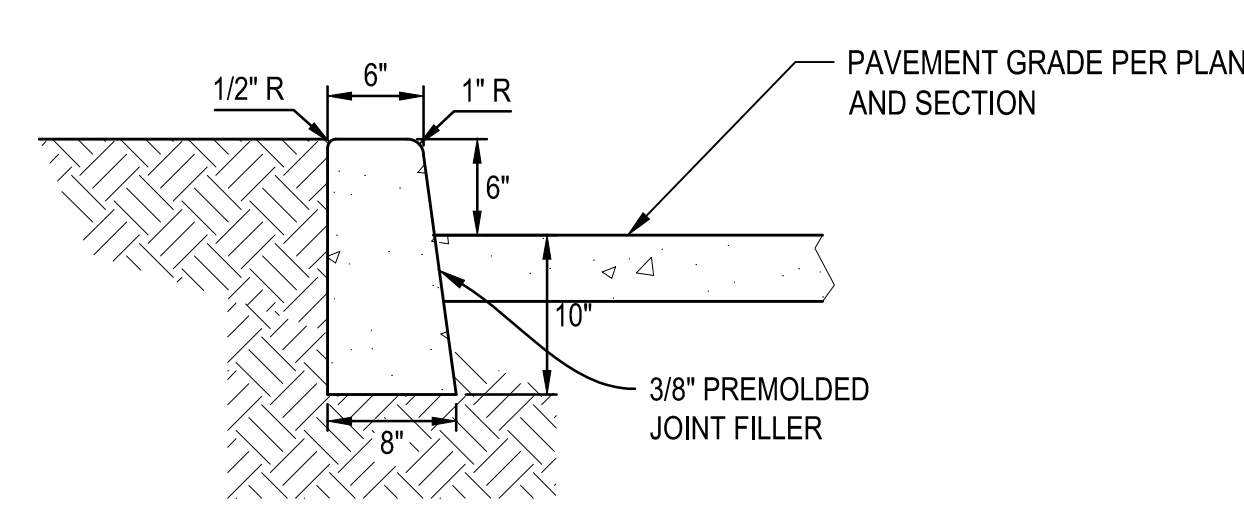
GEOPAVE
* AGGREGATE BASE SHALL BE 5/8" CRUSHED ROCK AND MEET AND BE PLACED PER MANUFACTURER'S REQUIREMENTS
** AGGREGATE TOP COURSE SHALL BE GEOPAVE GRAVEL PAVERS INFILLED WITH 3/8" CRUSHED ROCK AND MEET AND BE PLACED PER MANUFACTURER'S REQUIREMENTS

PERMEABLE PAVING 1
1"=1" C2.00

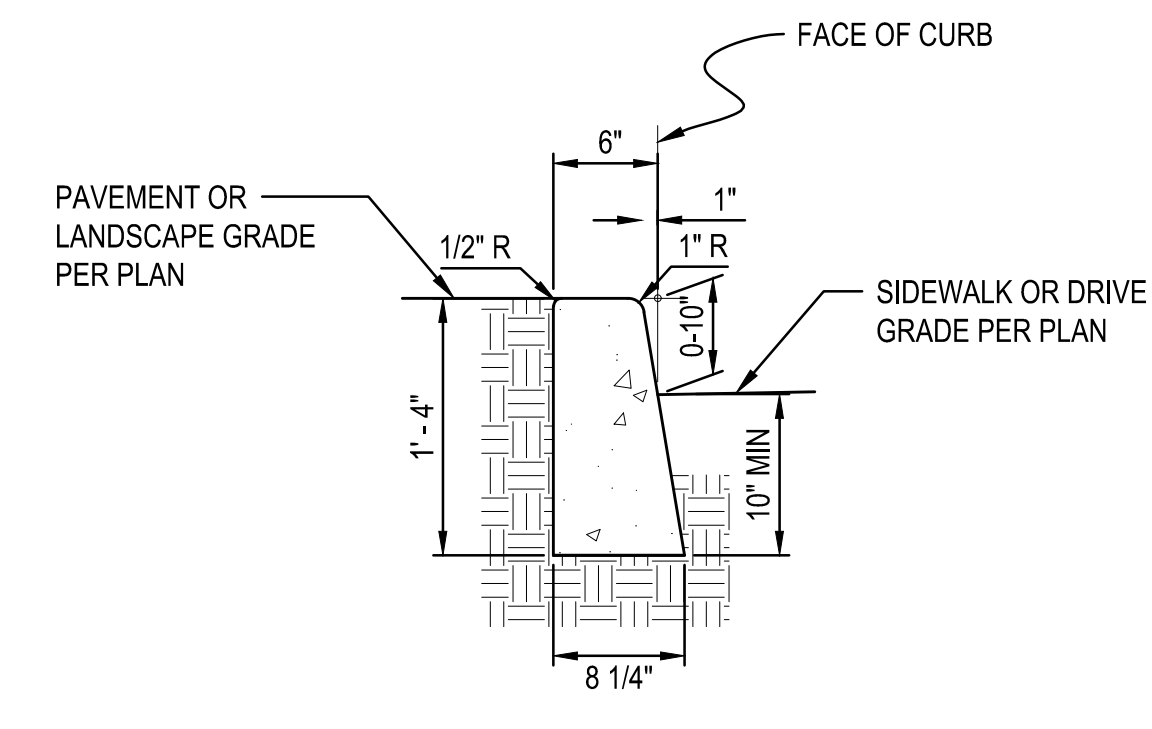


NOTES:
1. VERTICAL BACKFACE OF CURB SHALL BE FORMED AGAINST NATIVE EARTH WHERE PRACTICAL, OTHERWISE BY BACKFORM LEFT IN PLACE.

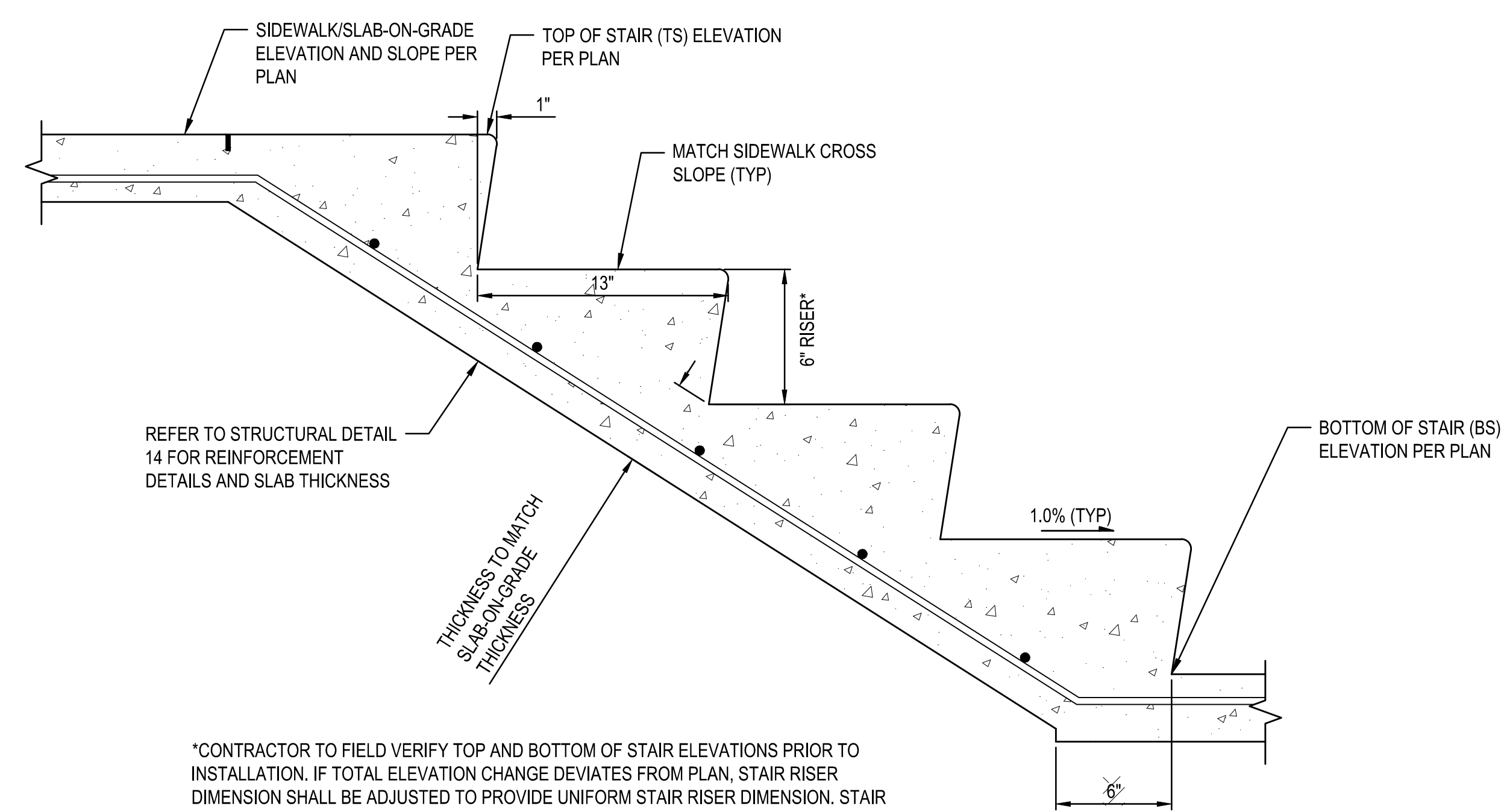
CONCRETE SIDEWALK WITH MONOLITHIC CURB 2
NTS C2.00



6" TRAFFIC CURB 3
WSDOT STANDARD PLAN F-10.12-04
1"=1" C2.10



CONCRETE FLUSH CURB 4
WSDOT STANDARD PLAN F-10.12-04
1"=1" C2.11



*CONTRACTOR TO FIELD VERIFY TOP AND BOTTOM OF STAIR ELEVATIONS PRIOR TO INSTALLATION. IF TOTAL ELEVATION CHANGE DEVIATES FROM PLAN, STAIR RISER DIMENSION SHALL BE ADJUSTED TO PROVIDE UNIFORM STAIR RISER DIMENSION. STAIR RISER HEIGHT CANNOT EXCEED 7".

TYPICAL STAIR GEOMETRY DETAIL 5
NTS C2.10

Date	Description
04/21/2023	ISSUE CD 50%
05/10/2023	ISSUE CD 90%
05/19/2023	ISSUE FOR PERMIT
10/06/2023	PLAN CHECK CORRECTIONS



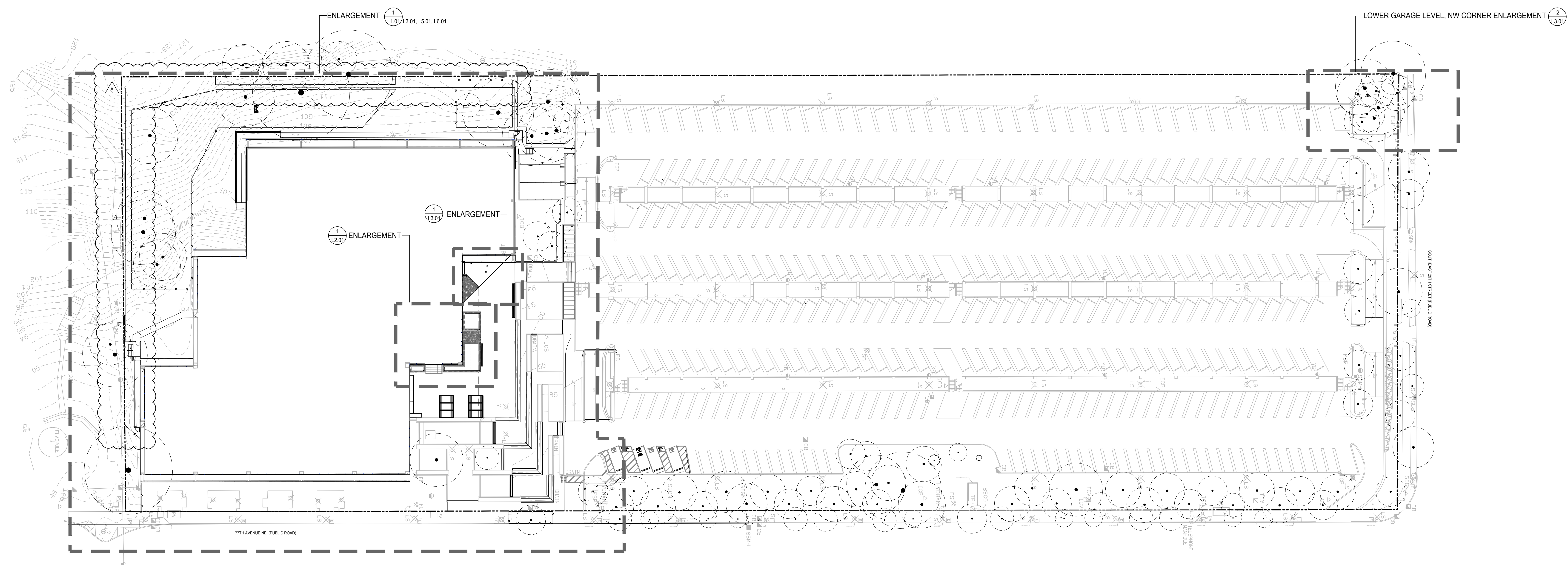
Project Name
Riot Games Seattle - Exterior Upgrades
Project Number
05.3853.000
Description
CIVIL DETAILS

Scale

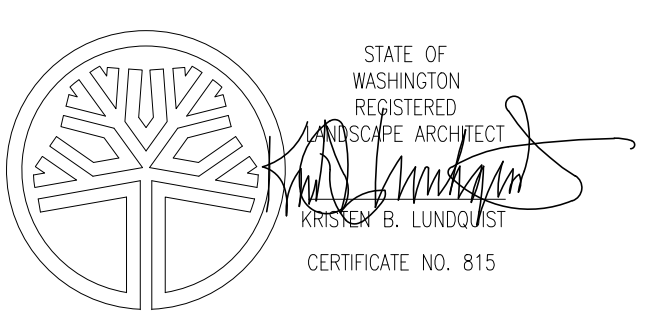
C2.20

SHEET INDEX

SHEET	DESCRIPTION
L0.01	COMPOSITE PLAN
L1.01	VEGETATION REMOVAL PLAN
L2.01	LAYOUT AND GRADING PLAN - ENTRY
L3.01	MATERIALS PLAN
L5.01	PLANTING PLAN
L5.20	PLANT SCHEDULE AND NOTES
L6.01	IRRIGATION PLAN, SCHEDULE, AND NOTES
L7.01	SITE SECTIONS
L8.01	PLANTING AND IRRIGATION DETAILS
L8.11	SITE DETAILS



Date	Description
4.21.2023	50% CD
5.10.2023	90% CD PROGRESS SET
5.15.2023	ISSUE FOR PERMIT
9.29.2023	PERMIT RESUBMITTAL
10.06.2023	PLAN CHECK CORRECTION

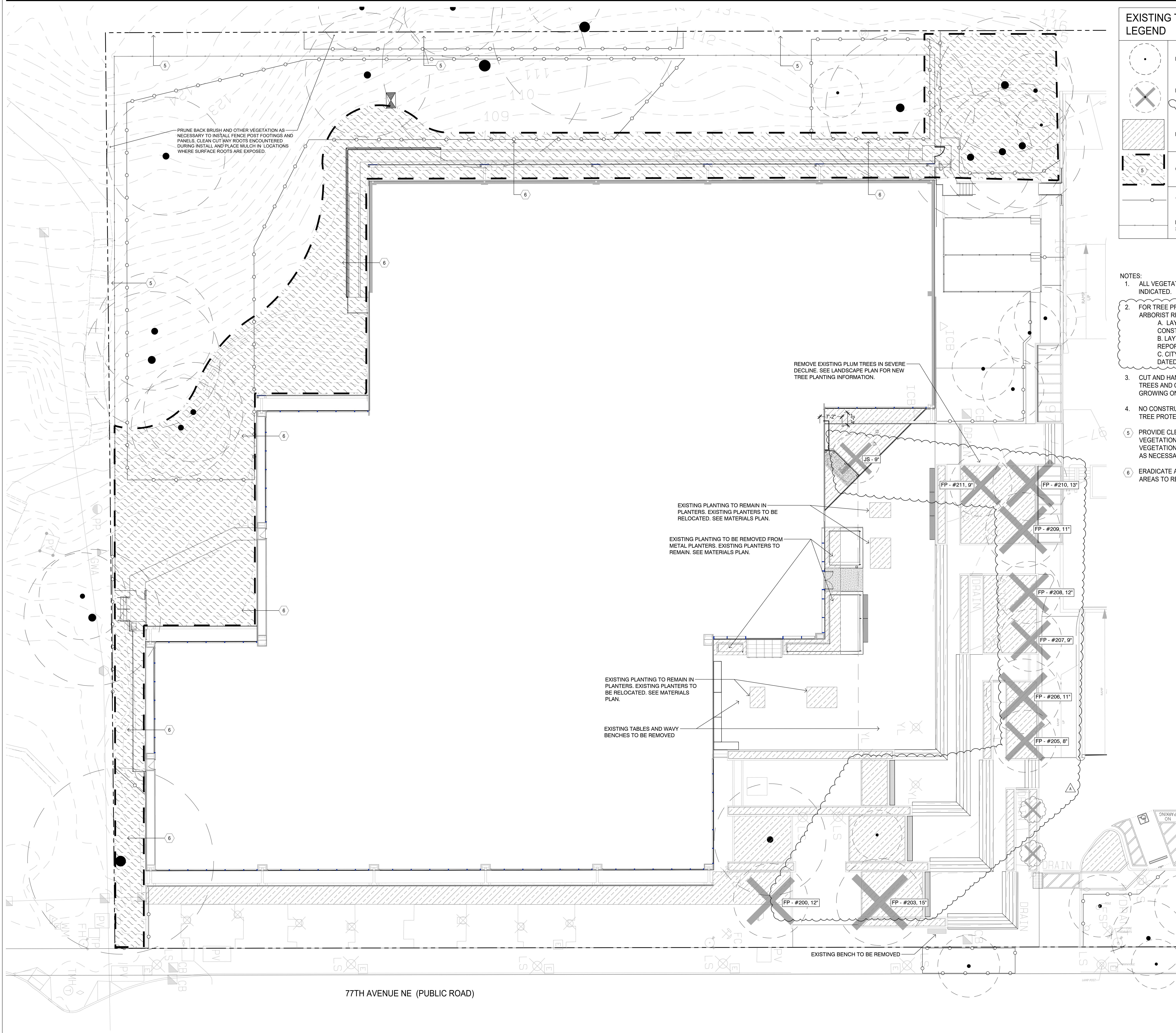


Project Name
Riot Games Seattle - Exterior Upgrades
 Project Number
2022-05RIOT
 Description
COMPOSITE PLAN

Scale

1 COMPOSITE PLAN
 1"=30'-0"



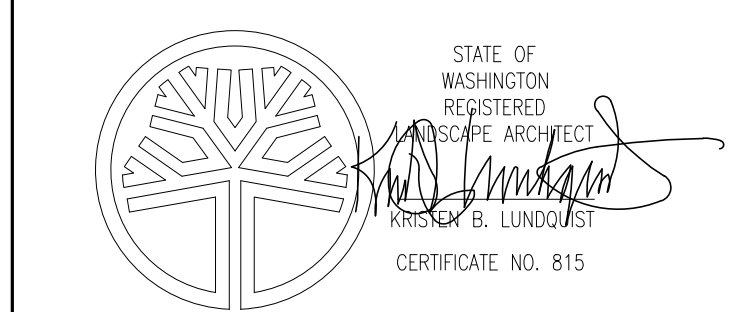


EXISTING TREE AND VEGETATION LEGEND

- EXISTING SIGNIFICANT TREE TO REMAIN
- EXISTING SIGNIFICANT TREE TO BE REMOVED
FP - FLOWERING PLUM
JS - JAPANESE SNOWBELL
- EXISTING VEGETATION TO BE REMOVED
- CLEAN UP, PRUNING, AND BRUSH REMOVAL
- TREE PROTECTION FENCING
- NEW METAL FENCE SHOWN FOR REFERENCE. SEE MATERIALS PLANS

- NOTES:
1. ALL VEGETATION TO REMAIN UNLESS OTHERWISE INDICATED.
 2. FOR TREE PROTECTION MEASURES, REFER TO ARBORIST REPORTS:
A. LAYTON TREE CONSULTING, TREES AND CONSTRUCTION MEMO, DATED 09.30.2023.
B. LAYTON TREE CONSULTING, ARBORIST REPORT, DATED 7.18.2023.
C. CITY OF MERCER ISLAND, MEMORANDUM, DATED 8.16.2023.
 3. CUT AND HAND PULL ALL IVY AWAY FROM BASE OF TREES AND COMPLETELY CUT THROUGH IVY STEMS GROWING ON TRUNKS.
 4. NO CONSTRUCTION STAGING OR STOCKPILING WITHIN TREE PROTECTION FENCING.
 5. PROVIDE CLEANUP AND PRUNING OF EXISTING VEGETATION; AND BRUSH REMOVAL OF INVASIVE VEGETATION, ALONG NEW FENCE LINE ON PROPERTY, AS NECESSARY TO INSTALL NEW FENCE.
 6. ERADICATE ALL BLACKBERRY AND PRUNE BACK IVY IN AREAS TO RECEIVE NEW WORK.

Date	Description
4.21.2023	50% CD
5.10.2023	90% CD PROGRESS SET
5.19.2023	ISSUE FOR PERMIT
9.29.2023	PERMIT RESUBMITTAL
10.06.2023	PLAN CHECK CORRECTION



Seal / Signature

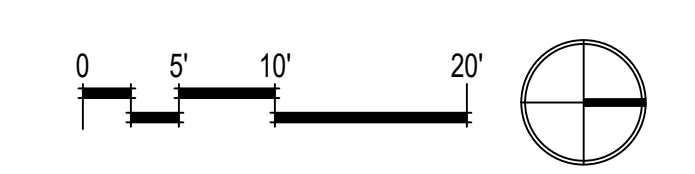
Project Name
Riot Games Seattle - Exterior Upgrades

Project Number
2022-05RIOT

Description
VEGETATION REMOVAL PLAN

Scale

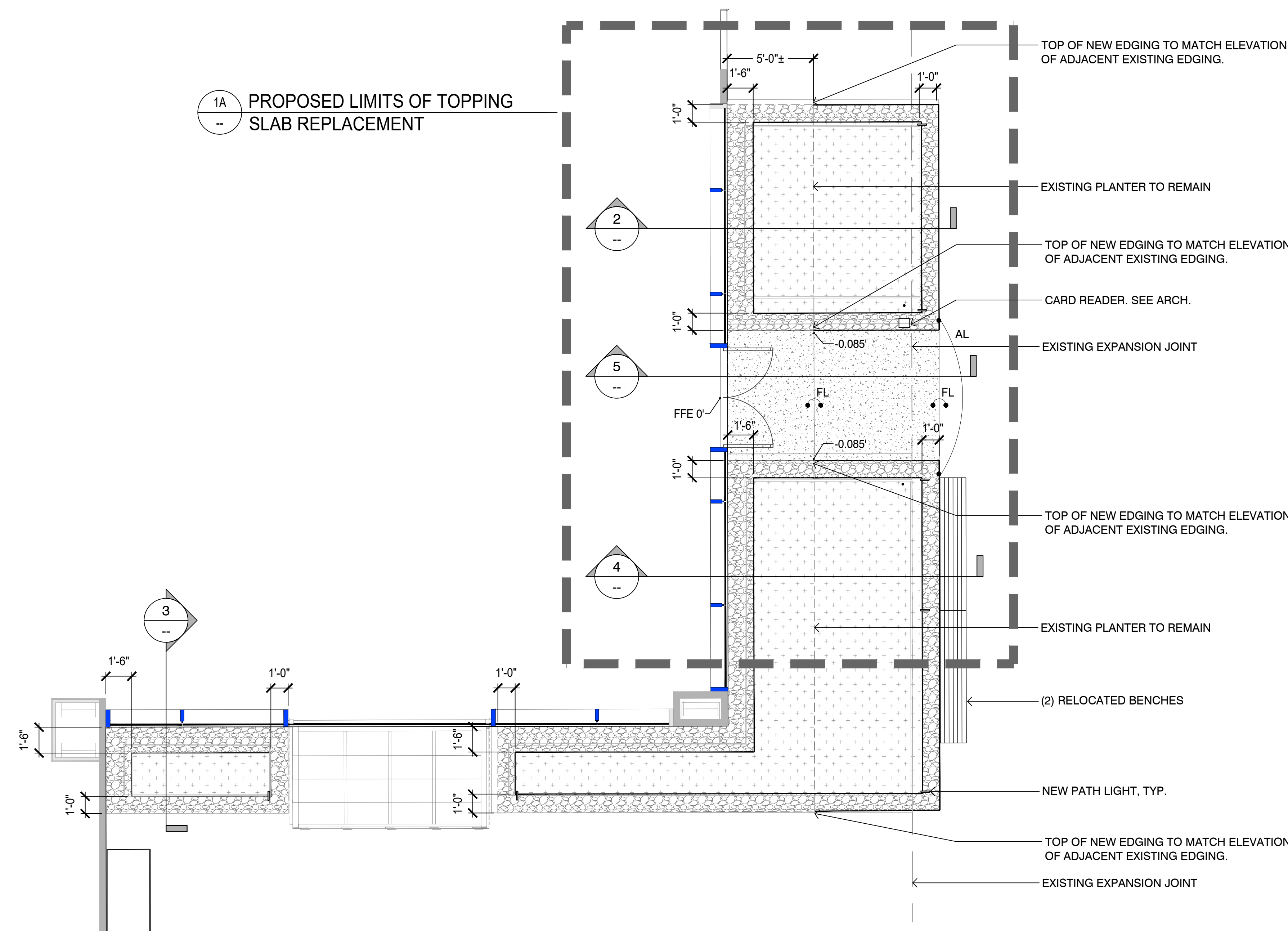
1 VEGETATION REMOVAL PLAN
1"=10'-0"



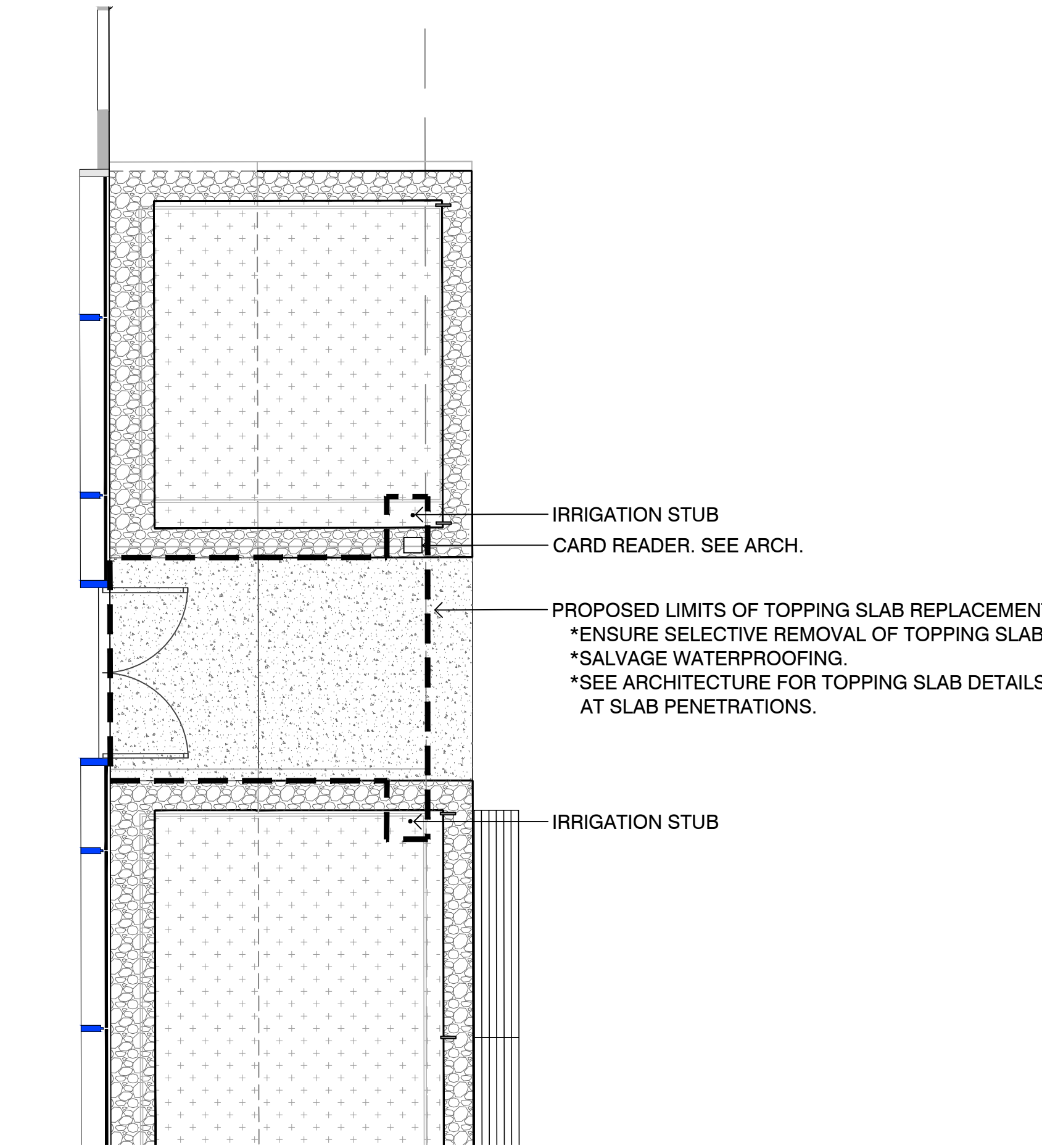
LAYOUT LEGEND	
SYMBOL	DESCRIPTION
	PLANTING AREA
	ALIGN (ONE WAY)
	FLUSH
	EXISTING EXPANSION JOINT

LAYOUT NOTES

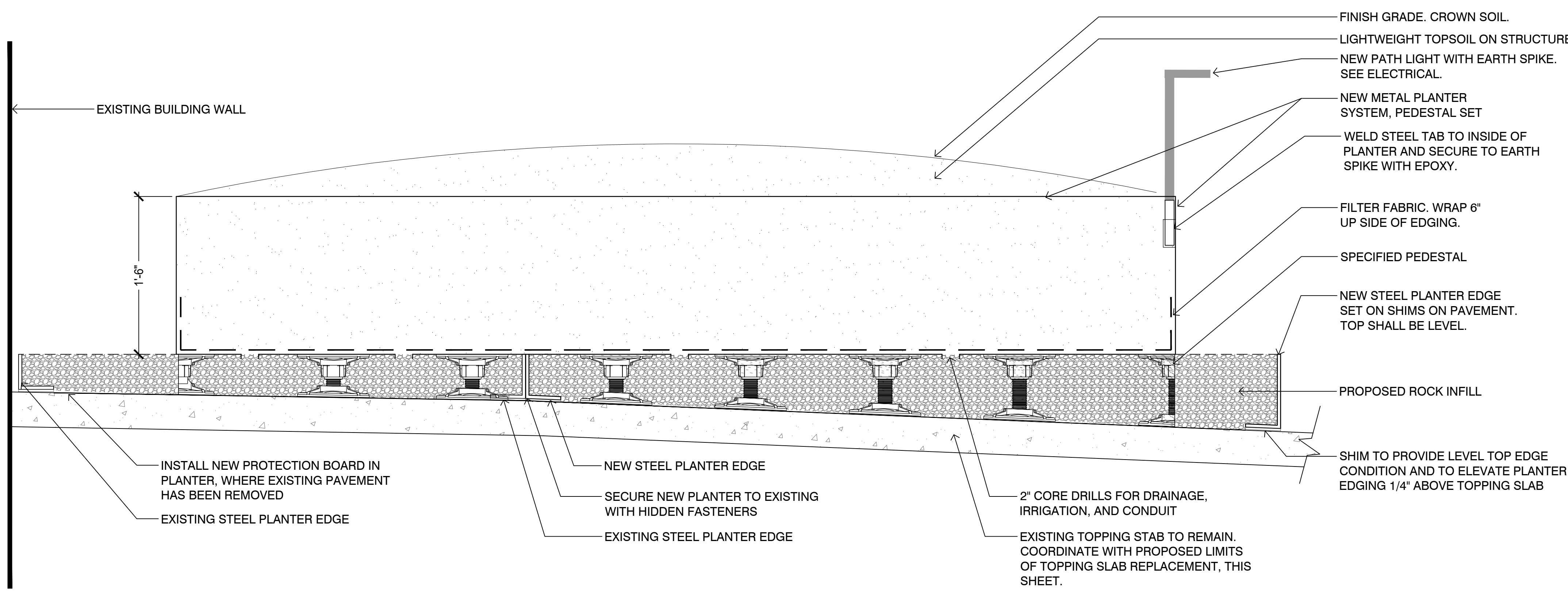
- ALL ANGLES SHALL BE 90 DEGREES UNLESS NOTED ON PLAN.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- LAYOUT WALKS AND SCORE JOINTS AS CLOSELY AS POSSIBLE TO PLANS, DETAILS, AND SPECIFICATIONS. ALIGN JOINTS WITH INTERSECTION OF PAVING AND WALL CORNERS.
- SPOT ELEVATIONS AND DIMENSIONS SHOWN ARE BASED ON AS-BUILT INFORMATION PROVIDED. CONTRACTOR TO VERIFY FIELD CONDITIONS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.



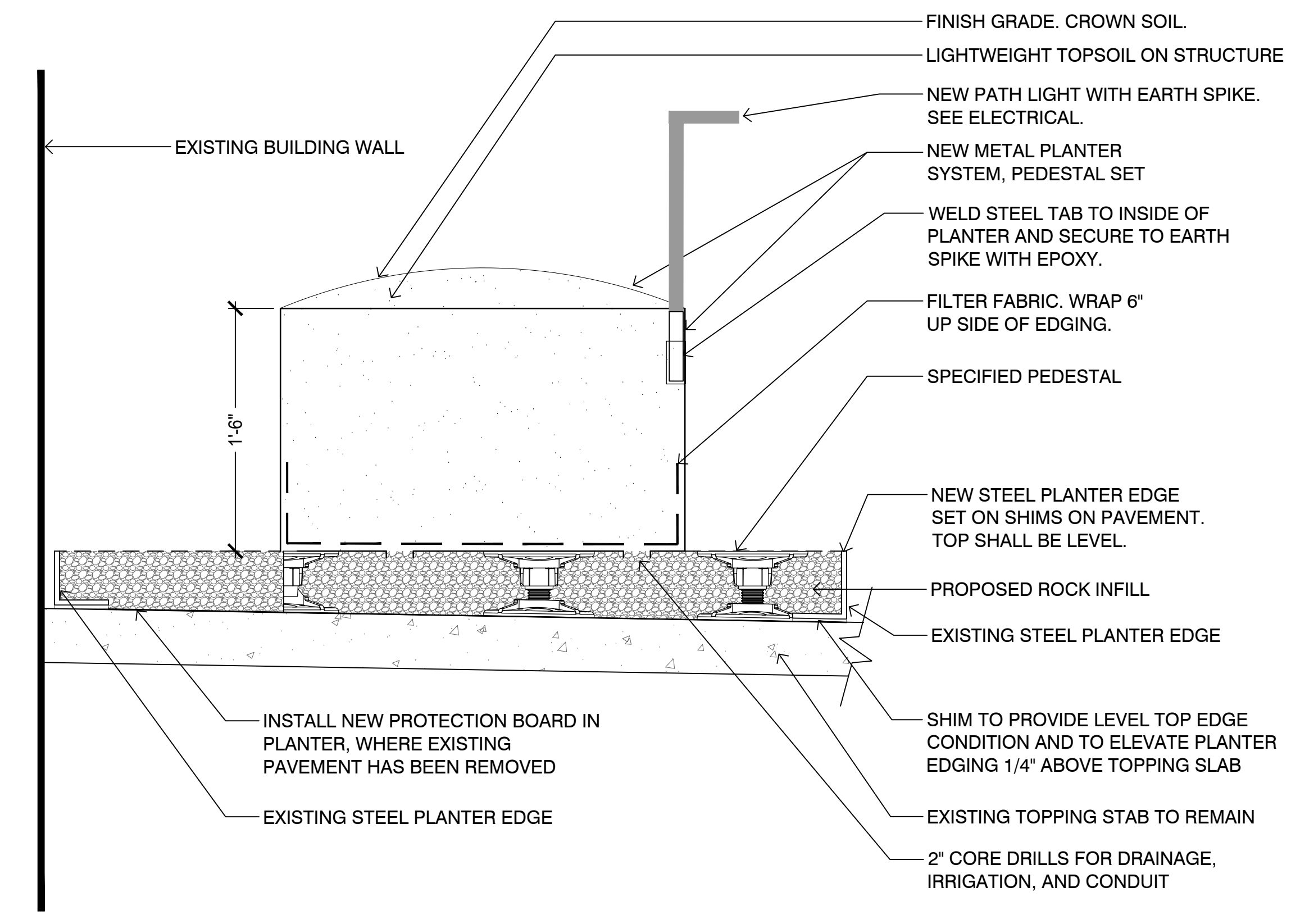
1 LAYOUT AND GRADING PLAN - ENTRY
1/4"=1'-0"



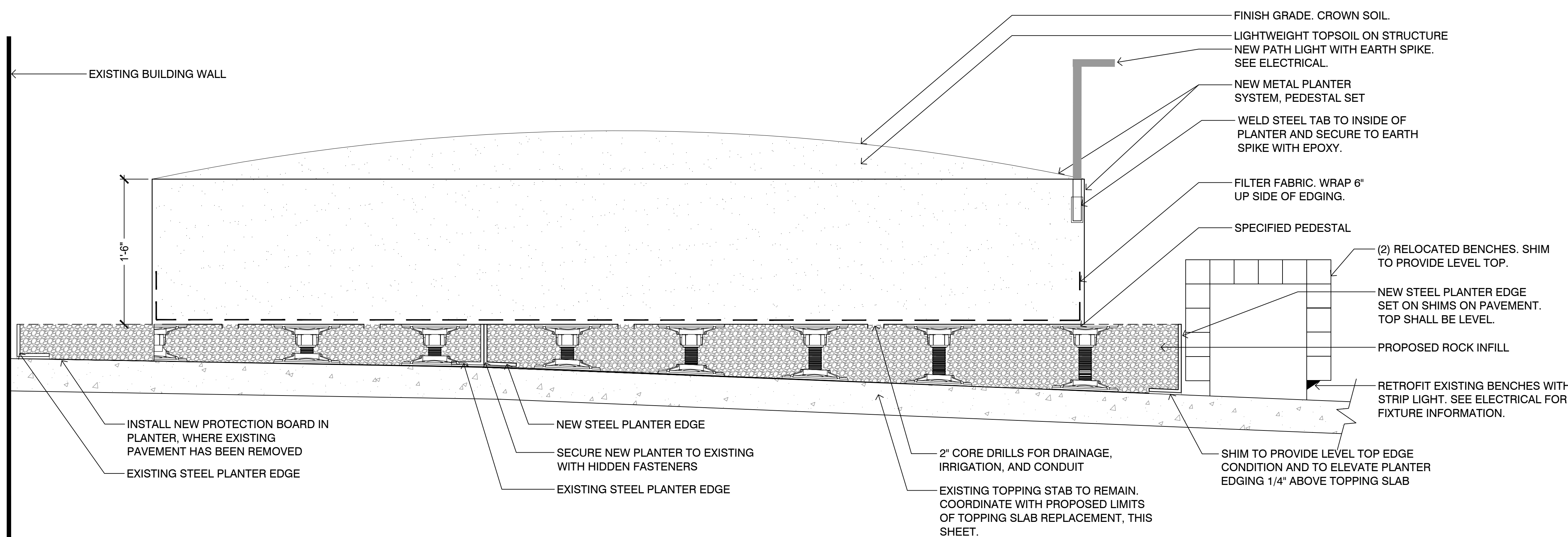
1A PROPOSED LIMITS OF TOPPING SLAB REPLACEMENT
1/4"=1'-0"



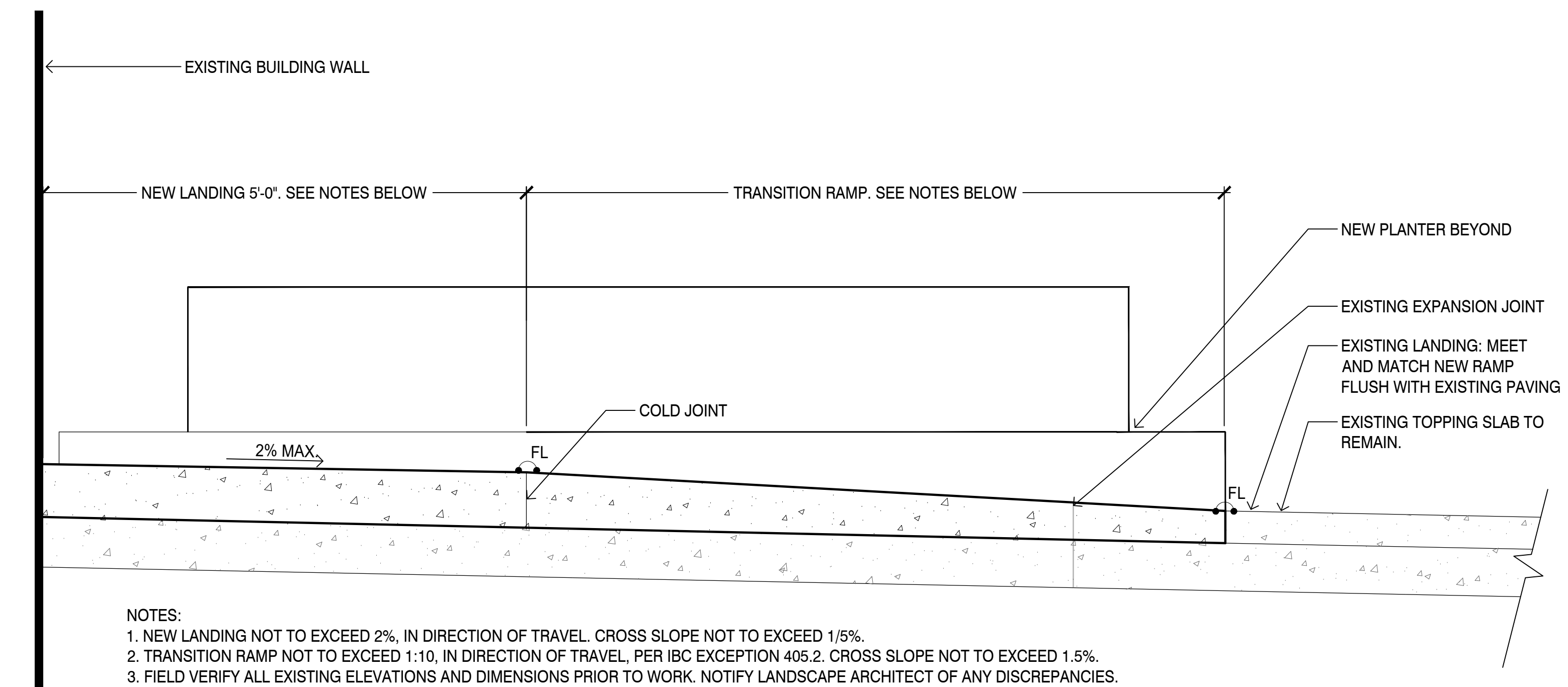
2 SECTION AT WEST SIDE OF ENTRY
1-1/2"=1'-0"



3 SECTION AT EAST ENTRY
1-1/2"=1'-0"

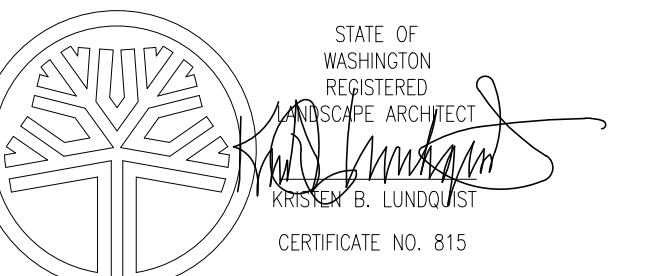


4 SECTION AT EAST SIDE OF ENTRY
1-1/2"=1'-0"



5 RAMP SECTION AT ENTRY
1"=1'-0"

Date	Description
4.21.2023	50% CD
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10.06.2023	PLAN CHECK CORRECTION



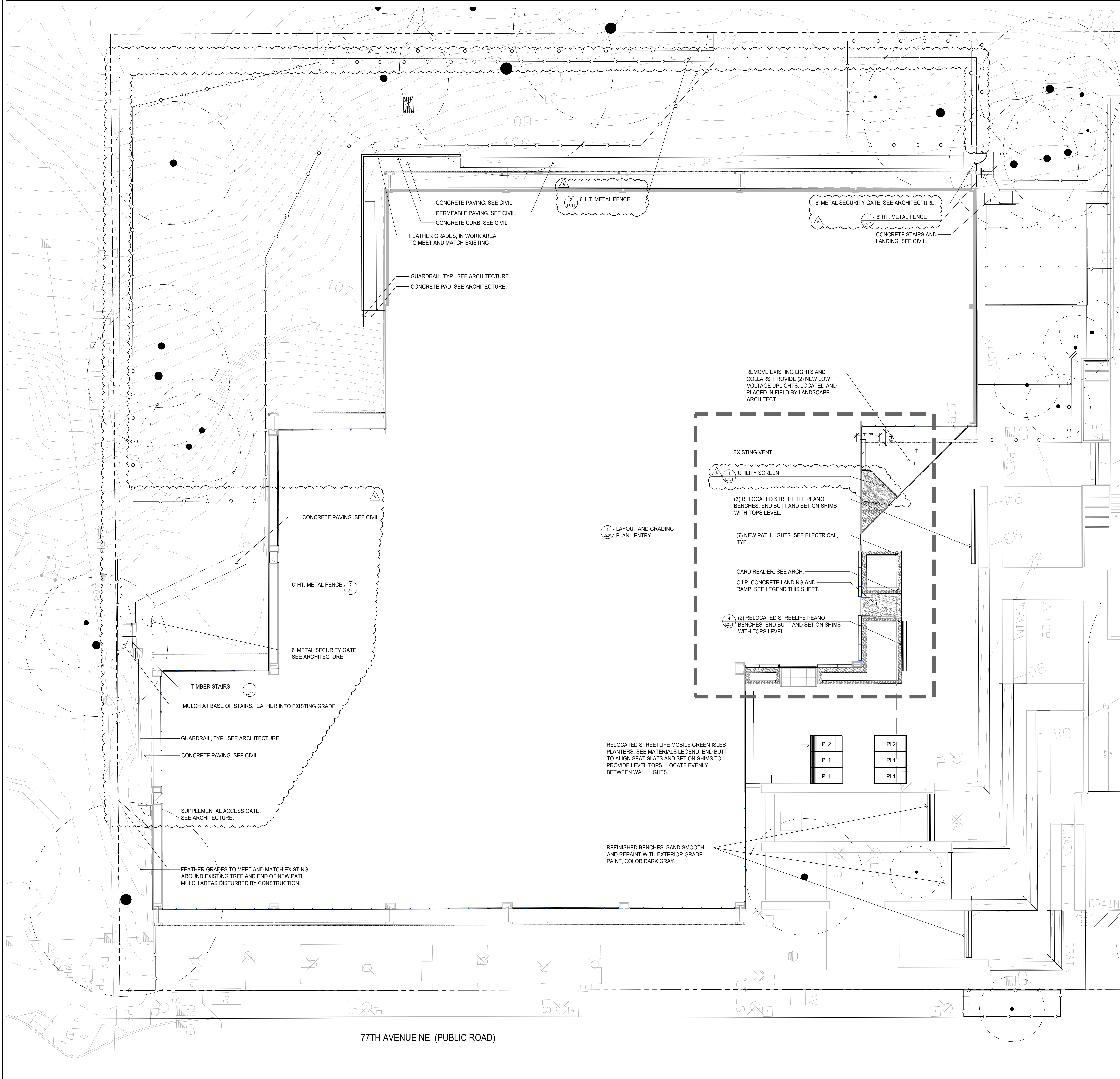
Seal / Signature

Project Name
Riot Games Seattle - Exterior Upgrades

Project Number
2022-05RIOT

Description
LAYOUT AND GRADING PLAN - ENTRY

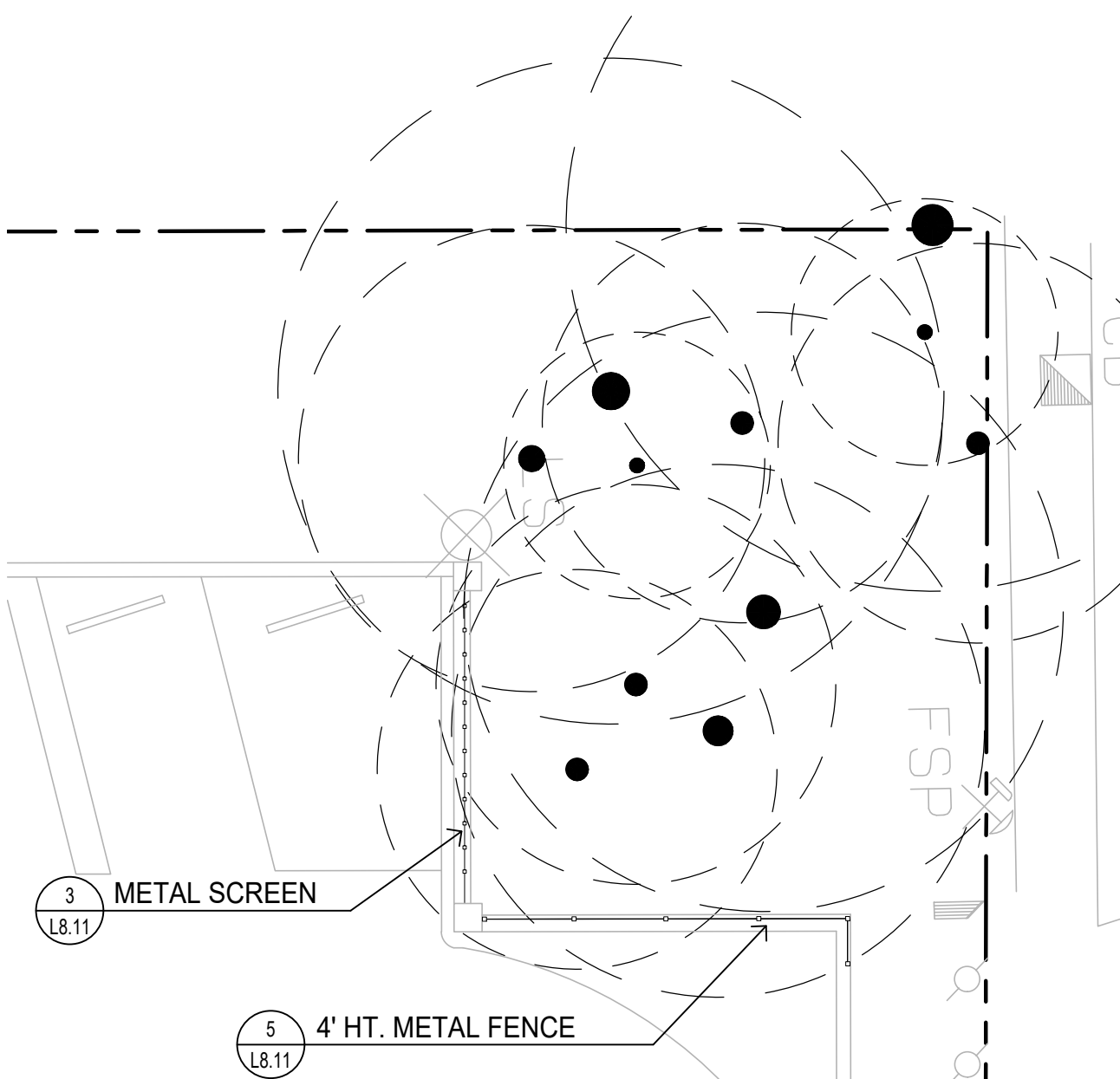
Scale



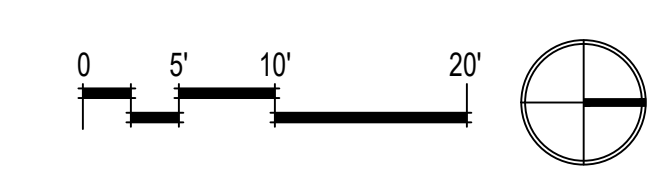
MATERIALS LEGEND

	2' DIA. WASHED ROUND ROCK
	C.I.P. CONCRETE LANDING AND RAMP, LIGHT BROOM FINISH, INTEGRAL COLOR: DAVIS DARK GRAY 860
	TREE PROTECTION FENCING
	4' AND 6' HT. METAL FENCE
	METAL SCREEN
	(QTY. 7) PATH LIGHTS, SEE ELECTRICAL.
	(QTY. 2) UPLIGHT - BULLETT MINI BY TARGETTI, 3,000K, COLOR BLACK.
	RELOCATED STREETLIFE BENCH
	RELOCATED STREETLIFE RAISED PLANTER WITH INTEGRAL BENCH SEATING
	RELOCATED STREETLIFE FLUSH PLANTER WITH INTEGRAL BENCH SEATING
	UTILITY SCREEN WITH VINES, LANDSCAPE FORMS - LINE SERIES, SOLID PANELS, 10' HT. SURFACE MOUNT ON FLUSH CURB

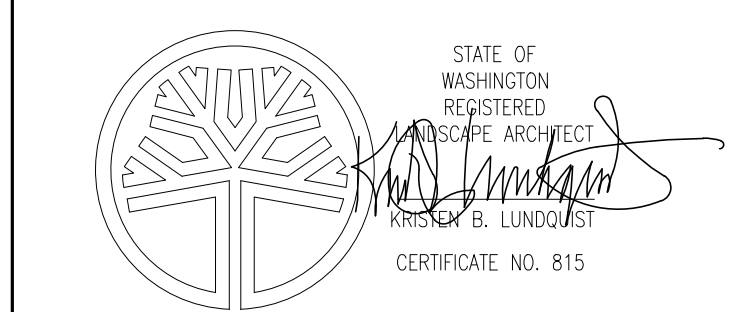
- NOTES:**
- CLEAN ALL SURFACES PRIOR TO AND AFTER RELOCATING FURNITURE TO REMOVE ANY DISCOLORATION FROM PREVIOUS PLACEMENT. CLEAN ALL STEEL PLANTER EDGING, TOUCH-UP ANY CHIPPED PAINT.
 - PROTECT SURFACES NOT INDICATED FOR IMPROVEMENTS.
 - REPAINT STEEL SUPPORTS ON EXISTING VESTRE SEATS LOCATED ALONG 77TH AVENUE. COLOR: RIOT RED.



1 MATERIALS PLAN
1"=10'-0"



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5.10.2023	95% CD PROGRESS SET
5.15.2023	ISSUE FOR PERMIT
9.29.2023	PERMIT RESUBMITTAL
10.06.2023	PLAN CHECK CORRECTION



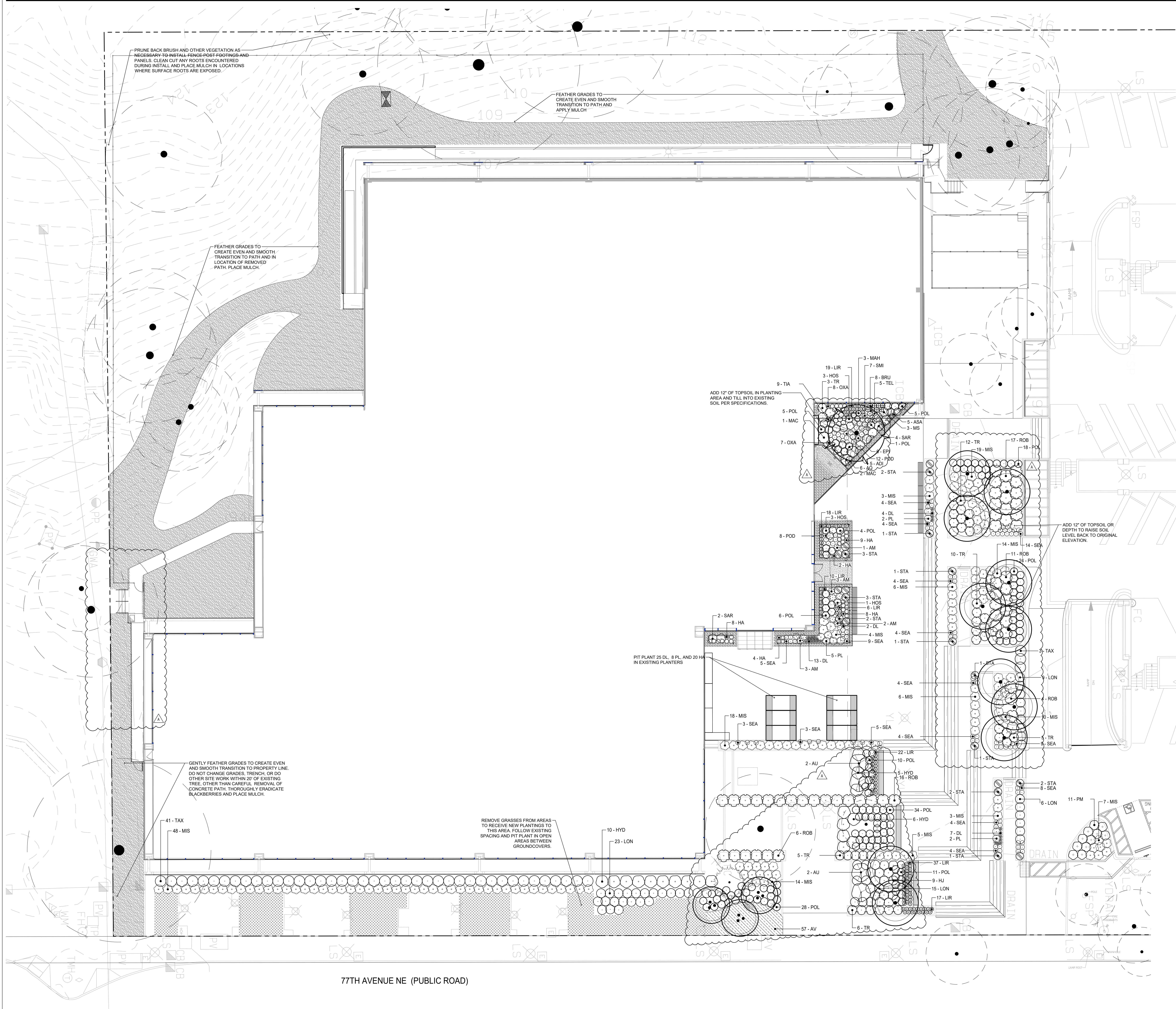
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Project Name
Riot Games Seattle - Exterior Upgrades

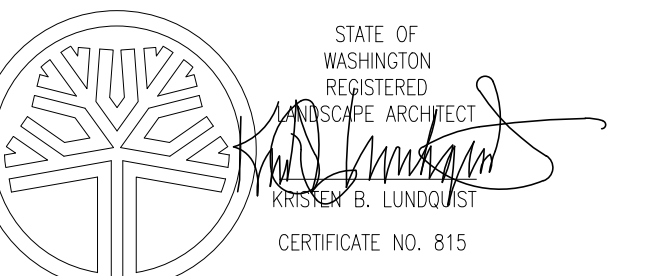
Project Number
2022-05RIOT

Description
MATERIALS PLAN

Scale



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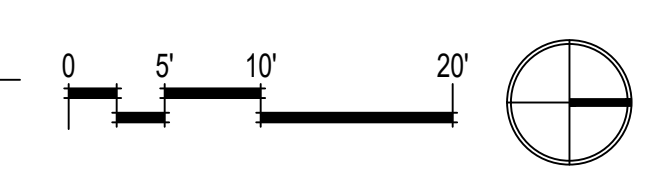


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Project Name
Riot Games Seattle - Exterior Upgrades
 Project Number
2022-05RIOT
 Description
PLANTING PLAN

Scale

1 PLANTING PLAN
 1"=10'-0"



TREE REPLACEMENT PER MICC 19.10.070

TOTAL TREES REMOVED <10" DIA: 4 TREES
 TOTAL REQUIRED REPLACEMENT TREES (1:1): 4 TREES

TOTAL TREES REMOVED BETWEEN 10"-24" DIA: 6 TREES
 TOTAL REQUIRED REPLACEMENT TREES (2:1): 12 TREES

TOTAL REPLACEMENT TREES REQUIRED: 16 TREES
 TOTAL REPLACEMENT TREES PROVIDED: 16 TREES

PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
	1		CALOCEDRUS DECURRENS	INCENSE CEDAR	8' - 10' HT.	REPLACEMENT TREE	
	3		CORNUS KOUSA	KOUSA DOGWOOD	12' HT.	MULTI STEM, REPLACEMENT TREE	
	11		PARROTTIA PERSICA 'VANESSA'	VANESSA PERSIAN PARROTTIA	2.5' CAL.	REPLACEMENT TREE	
	1		STYRAX JAPONICUS	JAPANESE SNOWBELL	12' - 14' HT.	SPECIMEN QUALITY, REPLACEMENT TREE	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	AJ	4	ARBUTUS UNEDO	STRAWBERRY TREE SHRUB	10 GAL	72" o.c.	FULL AND BUSHY, WELL BRANCHED
	HJ	9	HYDRANGEA PANICULATA 'JANE'	LITTLE LIMB PANICLE HYDRANGEA	3 GAL	36" o.c.	
	HYD	21	HYDRANGEA QUERCIFOLIA 'ALICE'	ALICE OAKLEAF HYDRANGEA	3 GAL	48" o.c.	
	LON	24	LONICERA PILEATA 'MOSS GREEN'	MOSS GREEN HONEYJUCKLE	2 GAL	36" o.c.	
	MS	3	MAHONIA EURYBRACATA 'SOFT CARESS'	SOFT CARESS MAHONIA	3 GAL	36" o.c.	
	MAH	3	MAHONIA NERVOSA	OREGON GRAPE	2 GAL	24" o.c.	
	MAC	3	MAHONIA X MEDIA 'CHARITY'	CHARITY MAHONIA	5 GAL	48" o.c.	
	PM	11	PRUNUS LAUROCERASUS 'MOUNT VERNON'	MOUNT VERNON ENGLISH LAUREL	3 GAL	36" o.c.	
	ROB	54	ROSA RUGOSA 'BLANC DOUBLE DE COUBERT'	BLANC DOUBLE DE COUBERT ROSE	2 GAL	48" o.c.	
	SAR	6	SARCOCCCA RUSCIFOLIA	FRAGRANT SWEETBOX	2 GAL	36" o.c.	
	TR	41	TAXUS BACCATA 'REPANDENS'	SPREADING ENGLISH YEW	3 GAL	36" o.c.	
	TAX	44	TAXUS X MEDIA 'HICKSI'	HICKS YEW	5 GAL	42" o.c.	
FERNS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	ADI	5	ADIANTUM ALEUTICUM	WESTERN MAIDENHAIR FERN	2 GAL	30" o.c.	
	POL	146	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	2 GAL	30" o.c.	
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	AM	9	ACANTHUS MOLLIS	BEAR'S BREECH	1 GAL	30" o.c.	
	ASA	5	ASARUM CALDATUM	WILD GINGER	1 GAL	18" o.c.	
	BRU	8	BRUNNERA MACROPHYLLA 'JACK FROST'	JACK FROST SIBERIAN BUGLOSS	1 GAL	18" o.c.	
	DL	26	DIANELLA REVOLUTA 'DR5000'	LITTLE REV™ FLAX LILY	1 GAL	18" o.c.	
	EPI	6	EPIMEDIUM WUSHANENSE	RED BARRENWORT	1 GAL	24" o.c.	
	HA	31	HAKONECHLOA MACRA 'ALL GOLD'	ALL GOLD JAPANESE FOREST GRASS	1 GAL	18" o.c.	
	HOS	7	HOSTA SIEBOLDIANA 'ELEGANS'	ELEGANS HOSTA	1 GAL	30" o.c.	
	LIR	129	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	14" o.c.	
	MIS	157	MISCANTHUS SINENSIS 'LITTLE KITTEN'	LITTLE KITTEN EULALIA GRASS	2 GAL	36" o.c.	
	OXA	15	OXALIS OREGANA	REDWOOD SORREL	1 GAL	18" o.c.	
	PL	9	PHILOMIS LANATA	JERUSALEM SAGE	2 GAL	30" o.c.	
	POD	20	POLYGONATUM ODORATUM	SOLOMONS SEAL	1 GAL	18" o.c.	
	SEA	90	SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY STONECROP	1 GAL	18" o.c.	
	SMI	8	SMILACINA RACEMOSA	FALSE SOLOMONS SEAL	1 GAL	24" o.c.	
	STA	20	STACHYS BYZANTINA 'HELEN VON STEIN'	HELEN VON STEIN LAMBS EAR	1 GAL	30" o.c.	
	TEL	5	TELLIMA GRANDIFLORA	BIGFLOWER TELLIMA	1 GAL	18" o.c.	
	TIA	10	TIARELLA X 'CUTTING EDGE'	CUTTING EDGE FOAMFLOWER	1 GAL	18" o.c.	
VINES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	AQ	6	AKEBIA QUINATA	CHOCOLATE VINE	1 GAL		
			HOLBOELLIA LATIFOLIA	SAUSAGE VINE	1 GAL		
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS		
	ARCTOSTAPHYLOS UVA-URSI 'VANCOUVER JADE'	VANCOUVER JADE KINKINNICK	1 GAL	24" o.c.			
		BARK MULCH					
		RELOCATED GRASSES					

- LANDSCAPE NOTES**
- CONTRACTOR TO REMOVE ALL EXISTING PLANT MATERIALS, NOT INDICATED TO REMAIN, FROM ALL AREAS INDICATED TO RECEIVE NEW LANDSCAPE IMPROVEMENTS. PRIOR TO REMOVAL, VERIFY LIMITS IN THE FIELD WITH LA.
 - ALL LANDSCAPE AREAS TO BE FULLY IRRIGATED BY A FULLY FUNCTIONING IRRIGATION SYSTEM SPECIFIED ON THE EXISTING IRRIGATION PLANS. RESET AND REPAIR AS NECESSARY TO PROVIDE FULL COVERAGE TO ALL LANDSCAPE AREAS IMPACTED BY IMPROVEMENTS.
 - PLANTS TO BE LAID OUT BY LA IN FIELD PRIOR TO PIT PLANTING. PROVIDE QUANTITIES PRE SCHEDULE BELOW.
 - EXISTING PLANTING PER EXISTING PLANS SHOWN FOR REFERENCE ONLY.

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 MICHAEL G. LUNDQUIST
 CERTIFICATE NO. 815

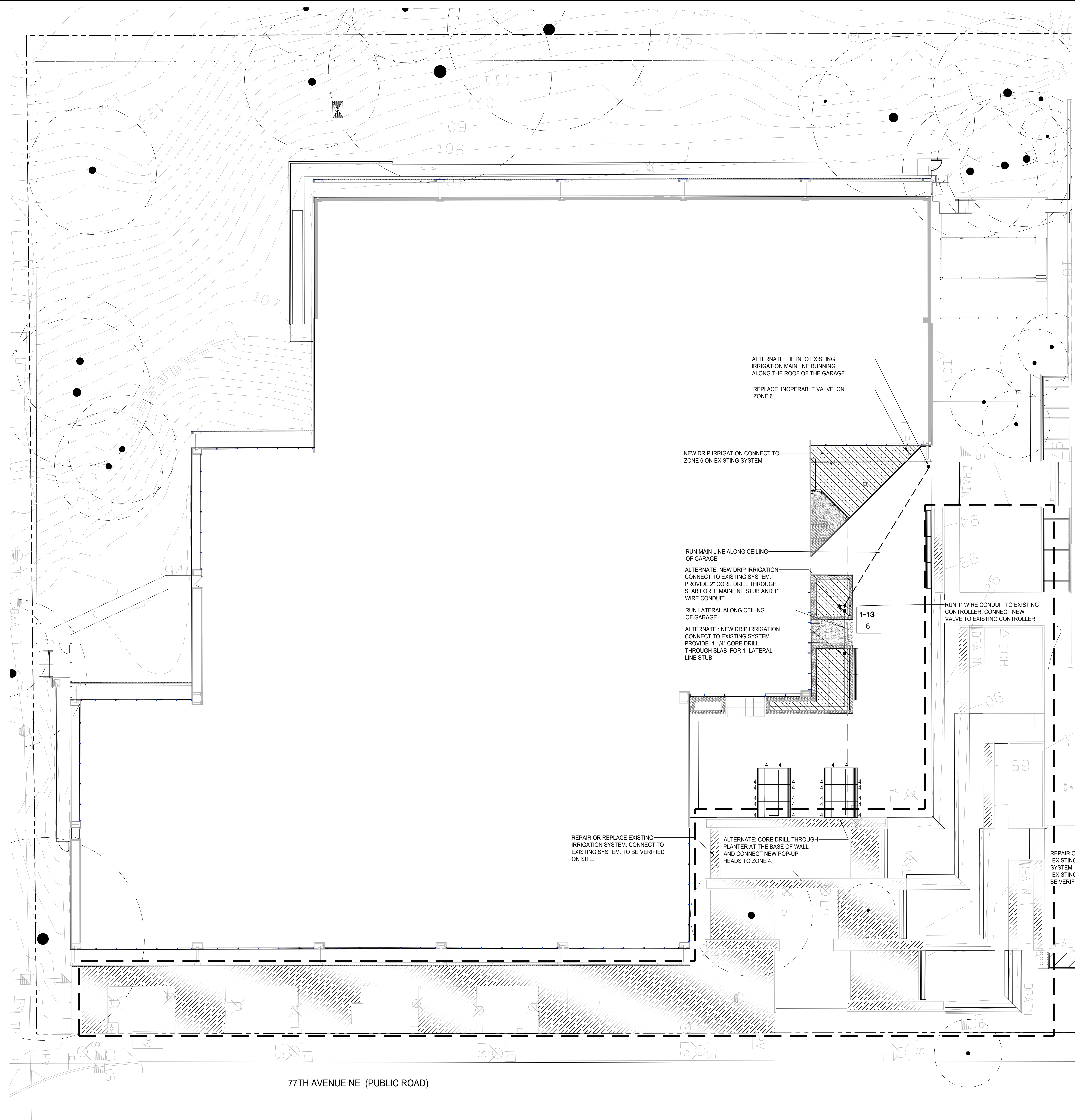
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Project Name
Riot Games Seattle - Exterior Upgrades

Project Number
2022-05RIOT

Description
PLANT SCHEDULE AND NOTES

Scale



IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	PSI	RADIUS	G.P.M.
4	RAINBIRD RD06-S-P30-F - 4VAN	30	4'	0.41
4	RAINBIRD RD06-S-P30-F - 4VAN	30	4'	0.26
	RAINBIRD XFS-P-09-12-100 - SUB-SURFACE DRILINE	40		9 GPH
	RAINBIRD XQP1012100 - 1" DRILINE HEADER			
	RAINBIRD ARV050 - 1/2" AIR RELIEF VALVE			
	RAINBIRD OPERIND - DRIP SYSTEM OPERATION INDICATOR. INSTALL ONE AT EACH ZONE			
X-XX	CONTROLLER - ZONE NUMBER			
XX	ZONE GPM			
	RAINBIRD XCZ-100-PESB, 1" VALVE WITH BASKET FILTER			
	RAINBIRD 44 NP - 1" QUICK COUPLING VALVE. PROVIDE ONE AT EACH CLUSTER OF VALVES			
	THREADED COPPER STUB (OR APPROVED EQUAL), COORDINATE WITH PLUMBING			
	SCHEDULE 40 PVC 2" MAINLINE.			
	CLASS 200 PVC LATERAL LINE (SEE PIPE SIZING TABLE THIS SHEET)			

IRRIGATION NOTES

- PRIOR TO CONSTRUCTION, IT IS RECOMMENDED THAT A SKILLED IRRIGATION CONTRACTOR THOROUGHLY EXAMINE THE EXISTING SYSTEM.
- PROVIDE THE NECESSARY CUTTING AND CAPPING IN ALL AREAS IMPACTED BY CONSTRUCTION AND MAINTAIN FULL FUNCTIONALITY OF THE EXISTING SYSTEM ON CAMPUS GROUNDS WITHOUT INTERRUPTION, TO THE GREATEST EXTENT POSSIBLE.
- ENSURE ADEQUATE IRRIGATION COVERAGE ON REMAINING TREES AND SHRUBS DURING CONSTRUCTION. WATER BY OTHER MEANS OR MODIFY REMAINING IRRIGATION ZONES AS NECESSARY TO PROVIDE COVERAGE. PROVIDE ADDITIONAL CONTROLLER OR UPGRADE AS NECESSARY TO ACCOMMODATE ADDITIONAL ZONES.
- WHERE CONNECTING NEW HEADS AND LATERALS TO AN EXISTING ZONE, CONTRACTOR SHALL VERIFY EXISTING ZONE IS CAPABLE OF TAKING ON NEW LOAD TO MAINTAIN FULLY FUNCTIONING IRRIGATION SYSTEM.
- CONTRACTOR SHALL VERIFY ADDITIONAL ZONES CAN BE ADDED TO EXISTING CONTROLLER. CONNECT ALL NEW ZONES TO EXISTING CONTROLLER.
- ALL IRRIGATION LINES TO BE RUN WITHIN PLANTING AREAS. LINES SHOWN OUTSIDE OF PLANTING AREAS ARE FOR DIAGRAMMATIC PURPOSES ONLY.

ADD ALTERNATES:

- INSTALL RAIN SENSOR AT HIGH POINT ON BUILDING.
- UPGRADE CONTROLLER WITH RAINBIRD ESP-LXME 24, INCLUDING A REMOTE CONTROL.
- INSTALL PRESSURE REDUCING VALVE AT POINT OF CONNECTION.
- INSTALL MASTER VALVE AT POINT OF CONNECTION.
- REPLACE FIXED RISERS WITH 12" POP-UP HEADS. TOP OF HEAD TO BE LEVEL WITH FINISH GRADE OF PLANTERS.

ALTERNATE: TIE INTO EXISTING IRRIGATION MAINLINE RUNNING ALONG THE ROOF OF THE GARAGE

REPLACE INOPERABLE VALVE ON ZONE 6

NEW DRIP IRRIGATION CONNECT TO ZONE 6 ON EXISTING SYSTEM

RUN MAIN LINE ALONG CEILING OF GARAGE

ALTERNATE: NEW DRIP IRRIGATION CONNECT TO EXISTING SYSTEM. PROVIDE 2" CORE DRILL THROUGH SLAB FOR 1" MAINLINE STUB AND 1" WIRE CONDUIT

RUN LATERAL ALONG CEILING OF GARAGE

ALTERNATE: NEW DRIP IRRIGATION CONNECT TO EXISTING SYSTEM. PROVIDE 1-1/4" CORE DRILL THROUGH SLAB FOR 1" LATERAL LINE STUB.

1-13

6

RUN 1" WIRE CONDUIT TO EXISTING CONTROLLER. CONNECT NEW VALVE TO EXISTING CONTROLLER

REPAIR OR REPLACE EXISTING IRRIGATION SYSTEM. CONNECT TO EXISTING SYSTEM. TO BE VERIFIED ON SITE.

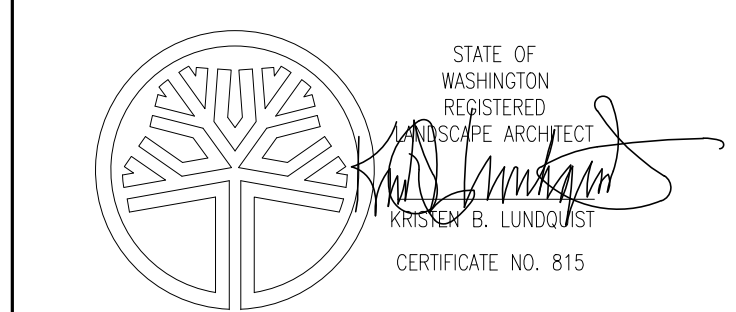
ALTERNATE: CORE DRILL THROUGH PLANTER AT THE BASE OF WALL AND CONNECT NEW POP-UP HEADS TO ZONE 4.

REPAIR OR REPLACE EXISTING IRRIGATION SYSTEM. CONNECT TO EXISTING SYSTEM. TO BE VERIFIED ON SITE.

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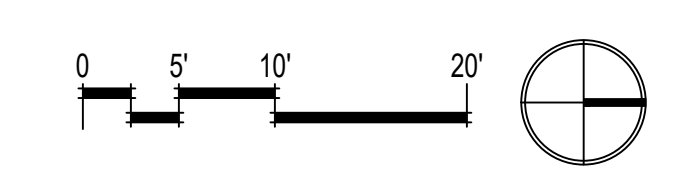
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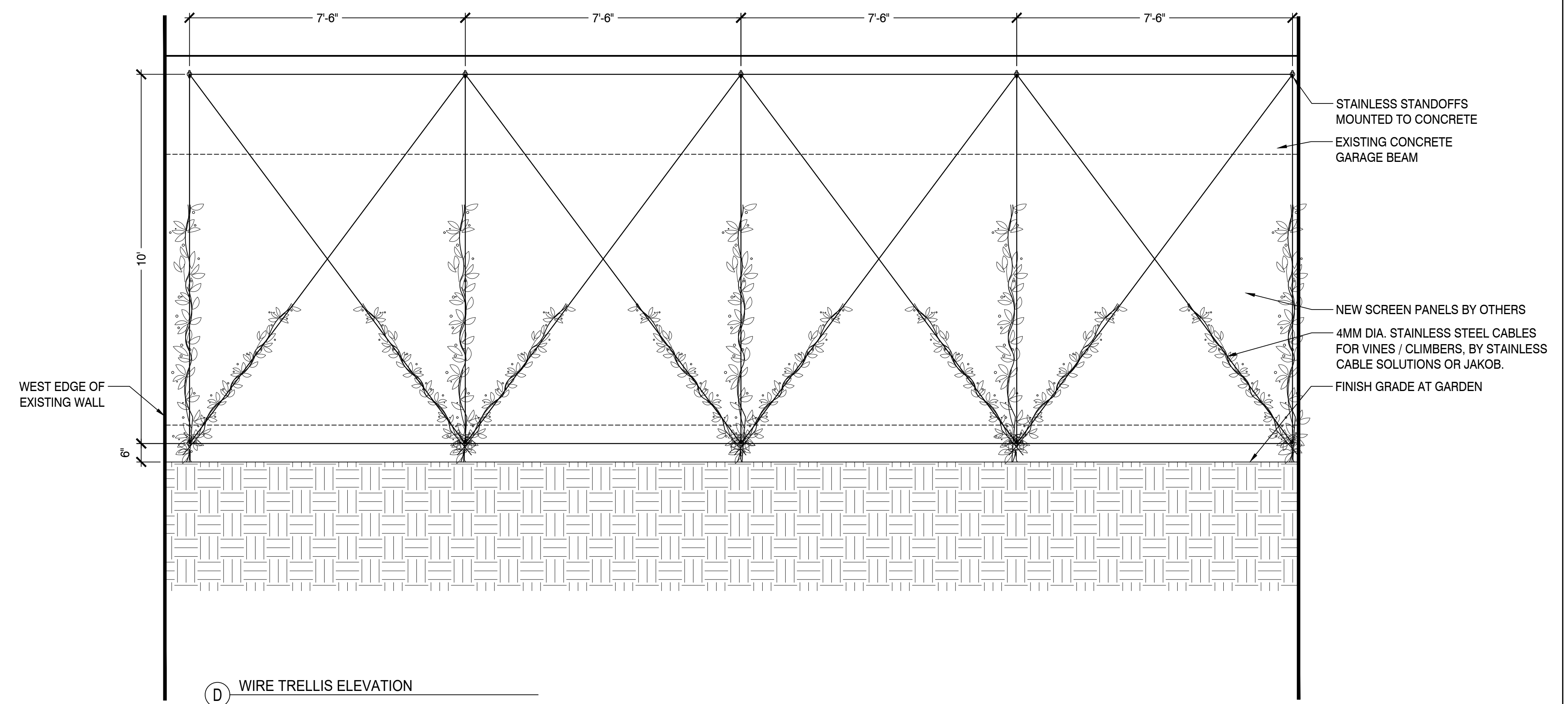
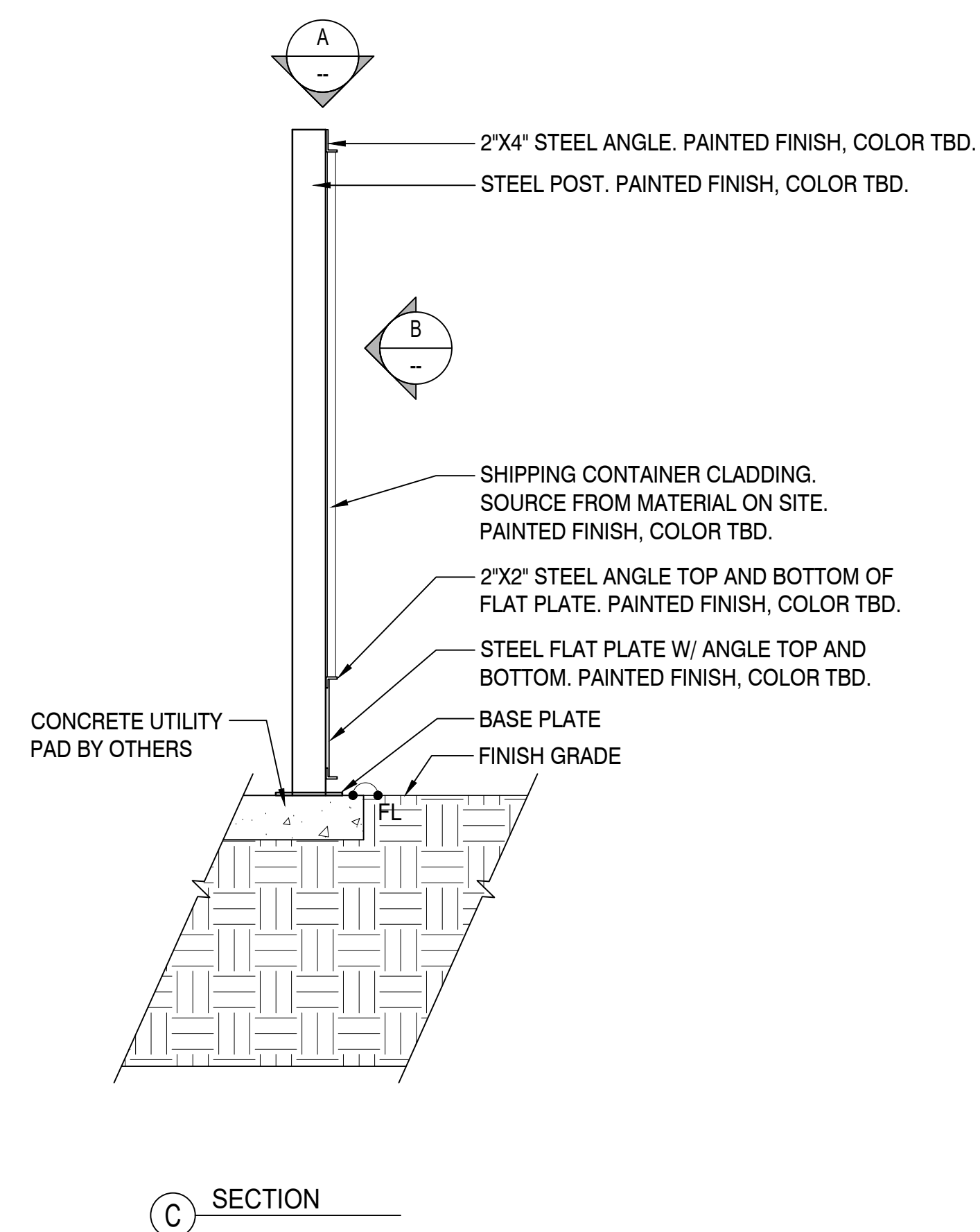
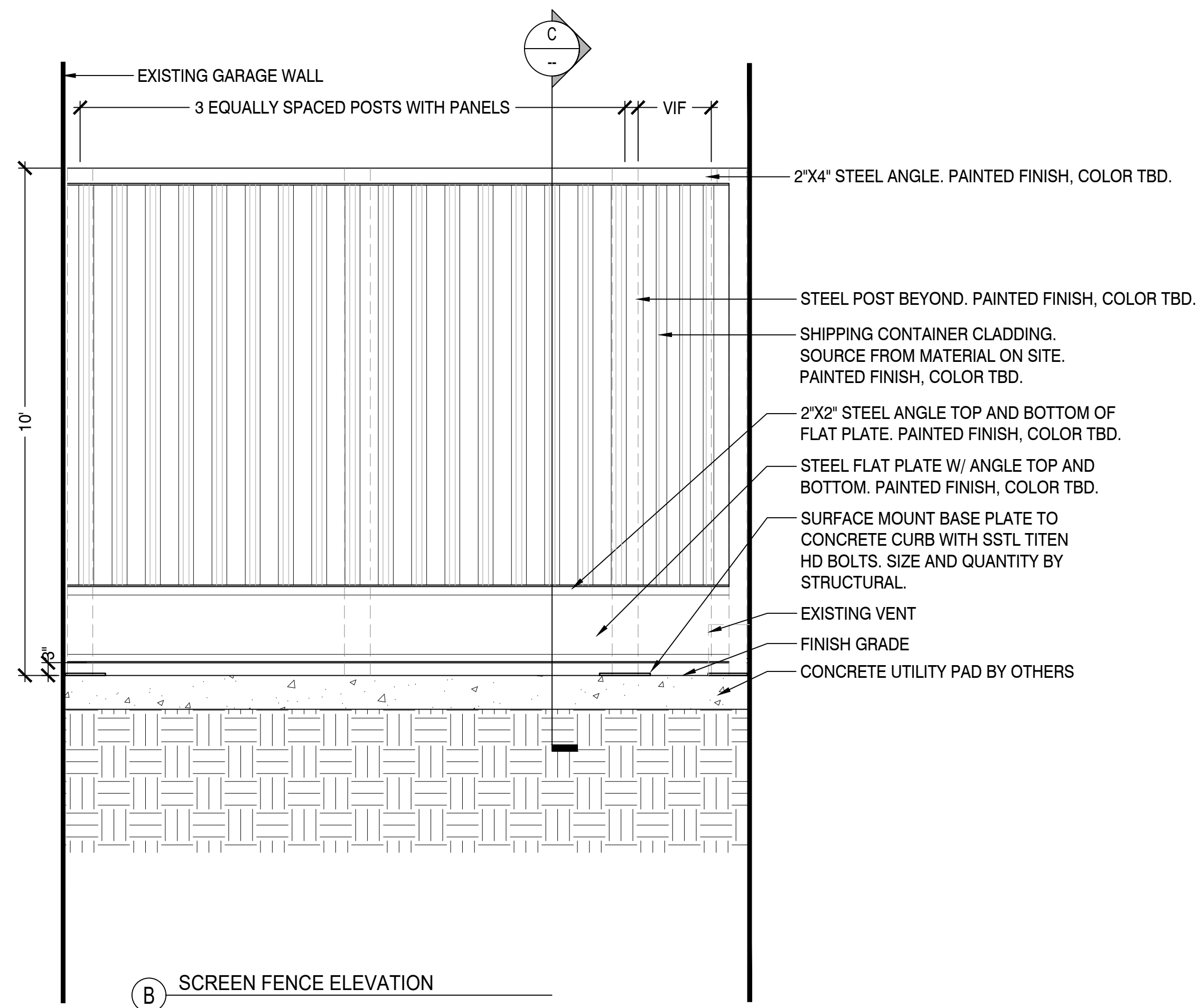
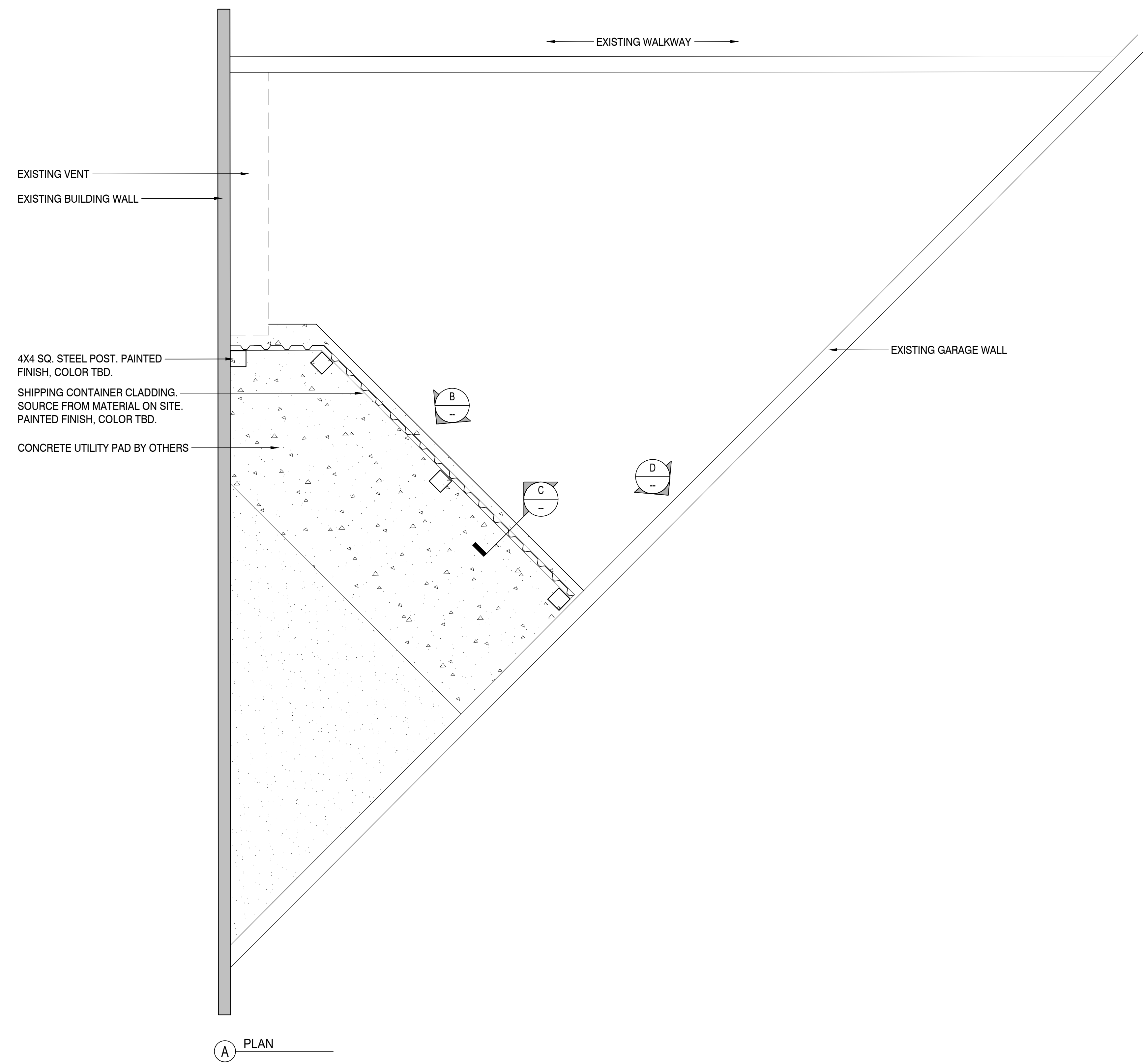
Project Number
2022-05RIOT

Description
IRRIGATION PLAN, SCHEDULE, AND NOTES

Scale

1 IRRIGATION PLAN
 1"=10'-0"





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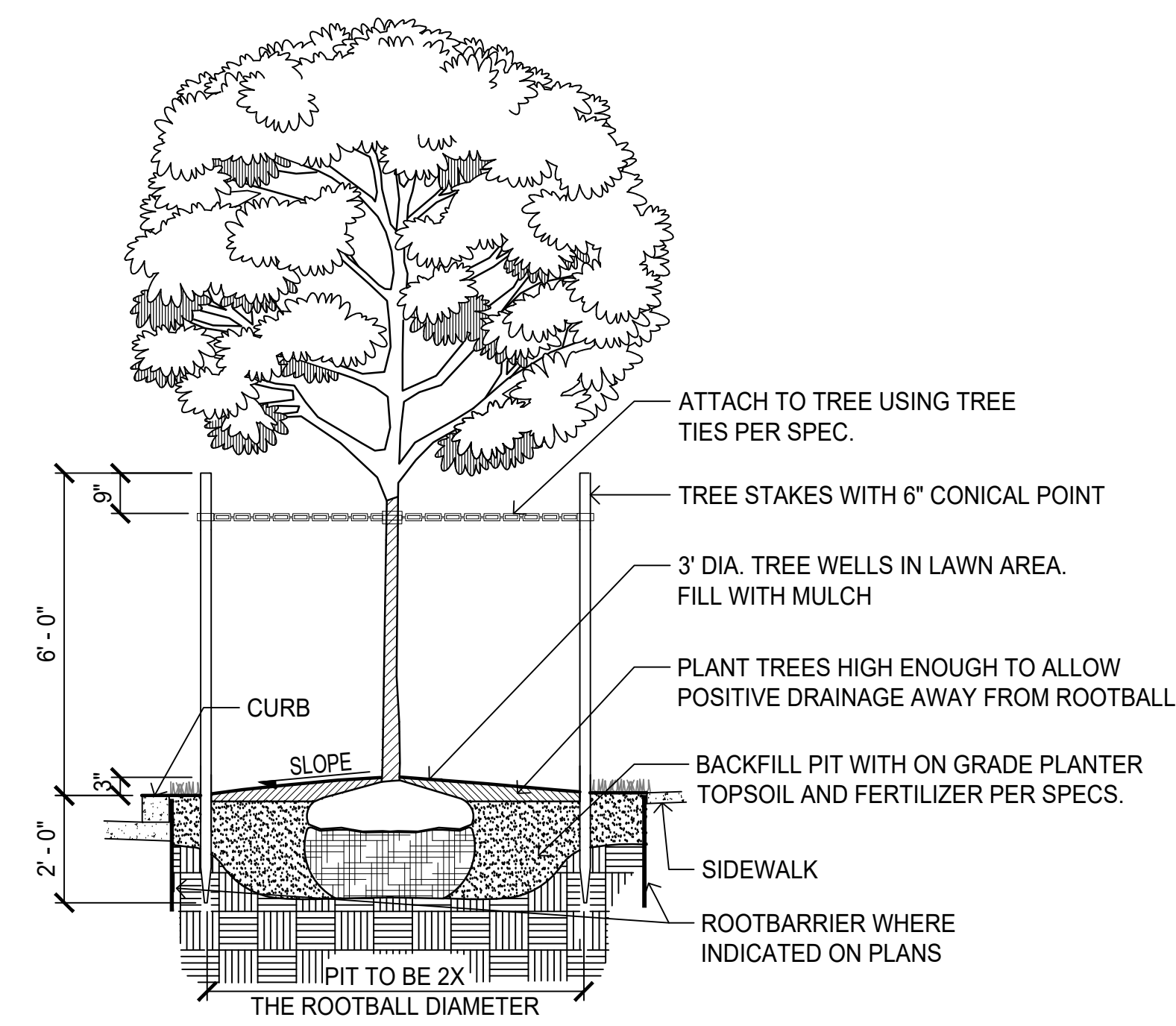
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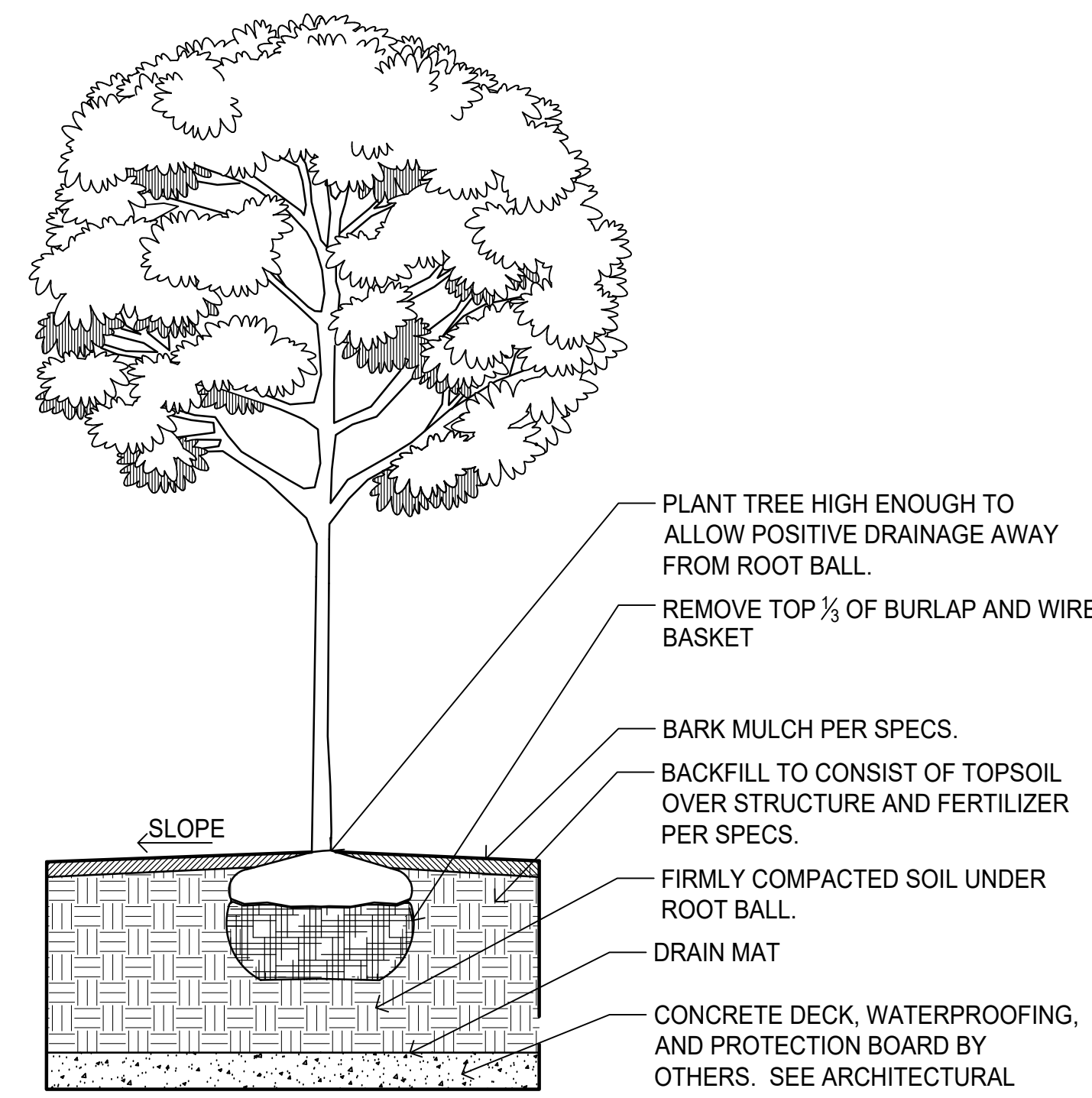
Project Number
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Description
UTILITY SCREEN AND WIRE TRELLIS WITH VINES

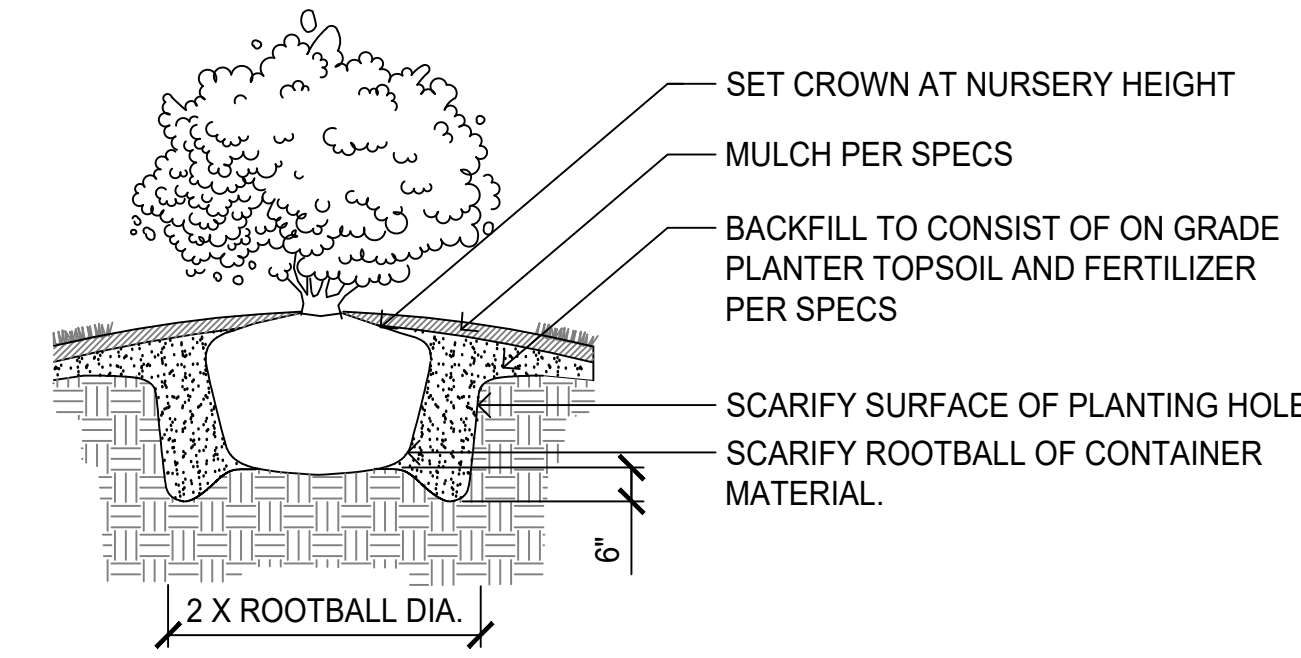
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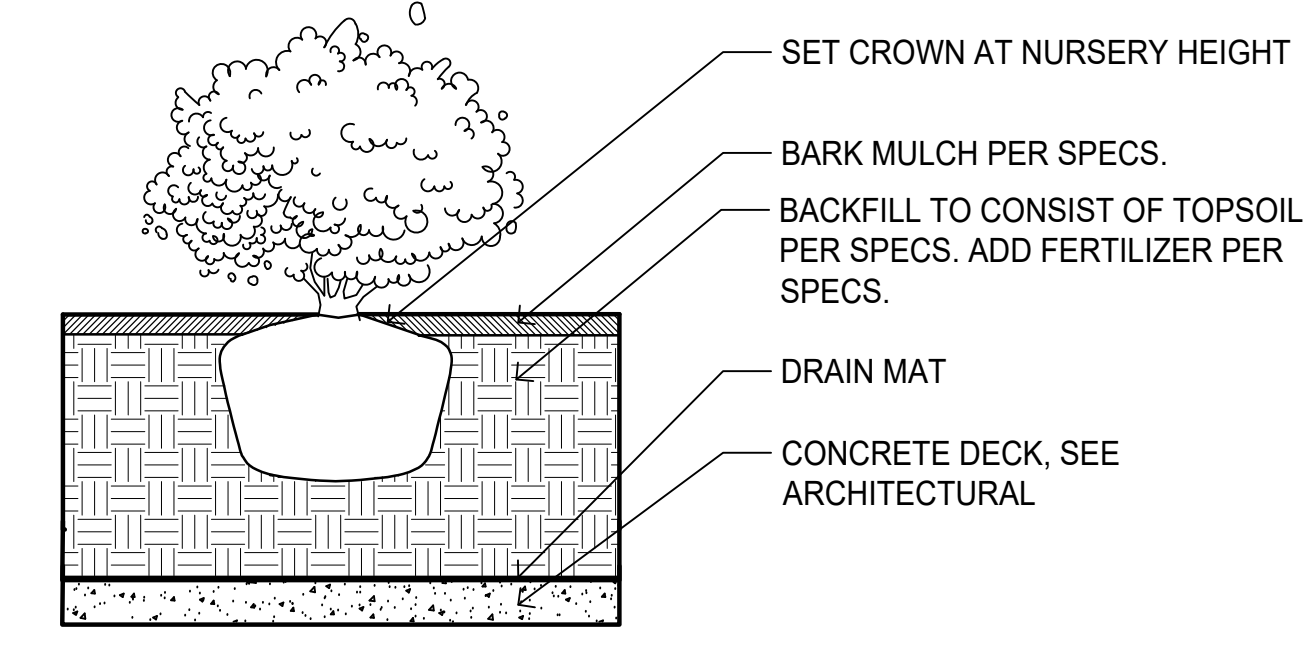
1 TREE PLANTING ON GRADE
3/8" = 1'-0"



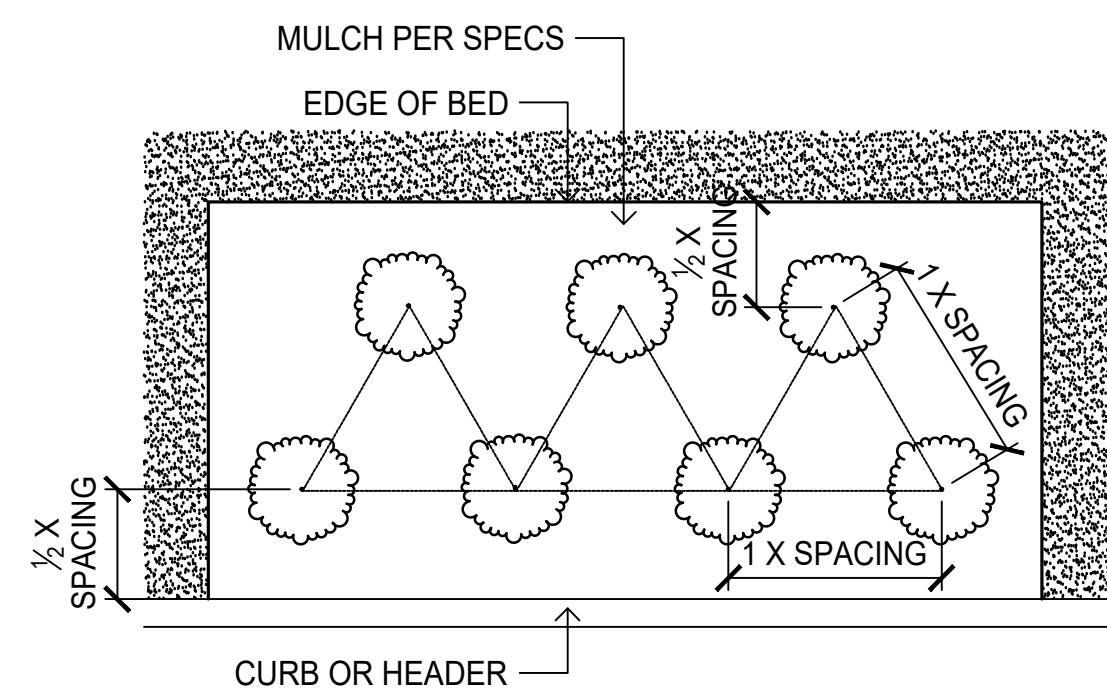
2 TREE PLANTING ON STRUCTURE
3/8" = 1'-0"



3 TREE PLANTING ON GRADE
3/8" = 1'-0"

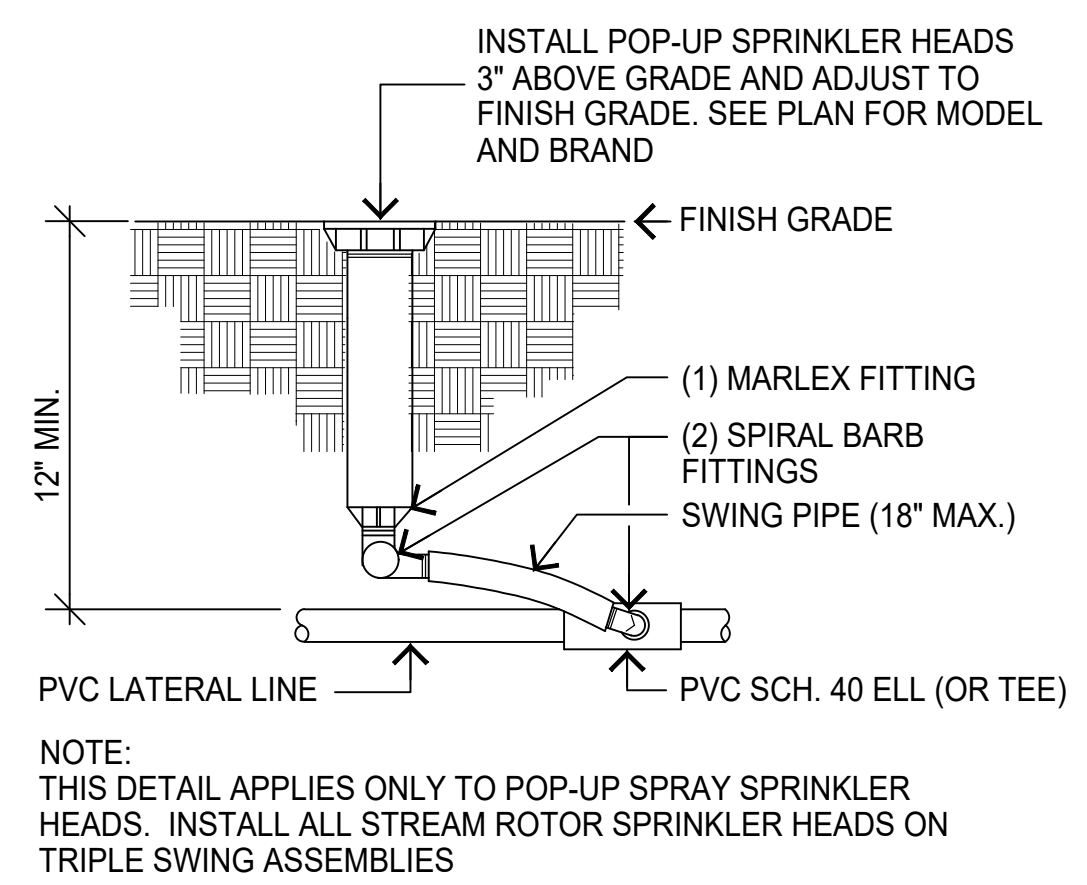


4 TREE PLANTING ON STRUCTURE
3/8" = 1'-0"



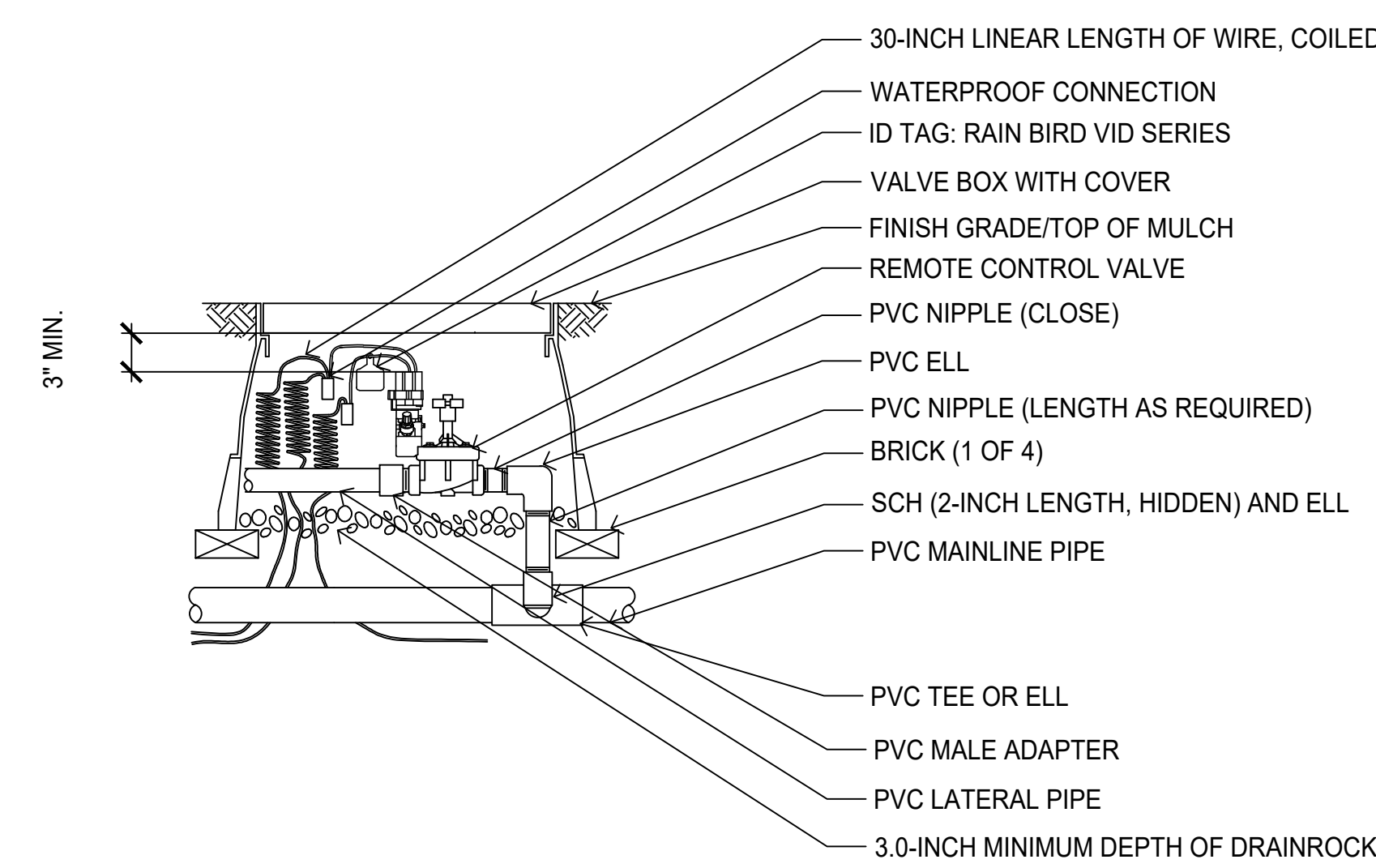
NOTES:
1. SPACING FOR GROUND COVER TO BE TRIANGULAR PER DISTANCE SHOWN ON PLANT SCHEDULE.
2. CONTINUE GROUND COVER UNDER TREE CANOPIES UP TO 3' FROM TRUNK.

5 GROUND COVER PLANTING
3/8" = 1'-0"

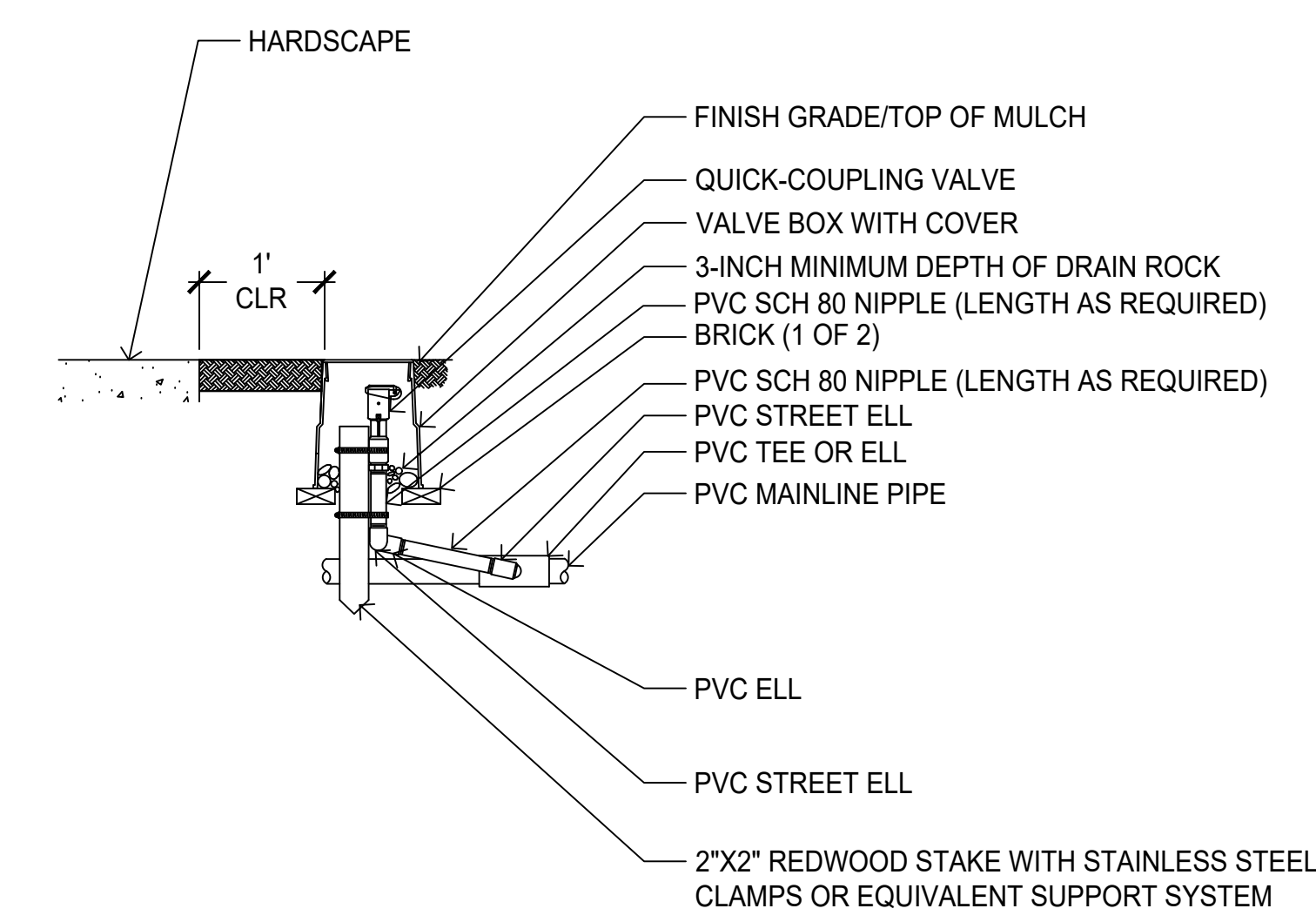


NOTE:
THIS DETAIL APPLIES ONLY TO POP-UP SPRAY SPRINKLER HEADS. INSTALL ALL STREAM ROTOR SPRINKLER HEADS ON TRIPLE SWING ASSEMBLIES

9 POP-UP SPRINKLER - FUNNY PIPE
NTS

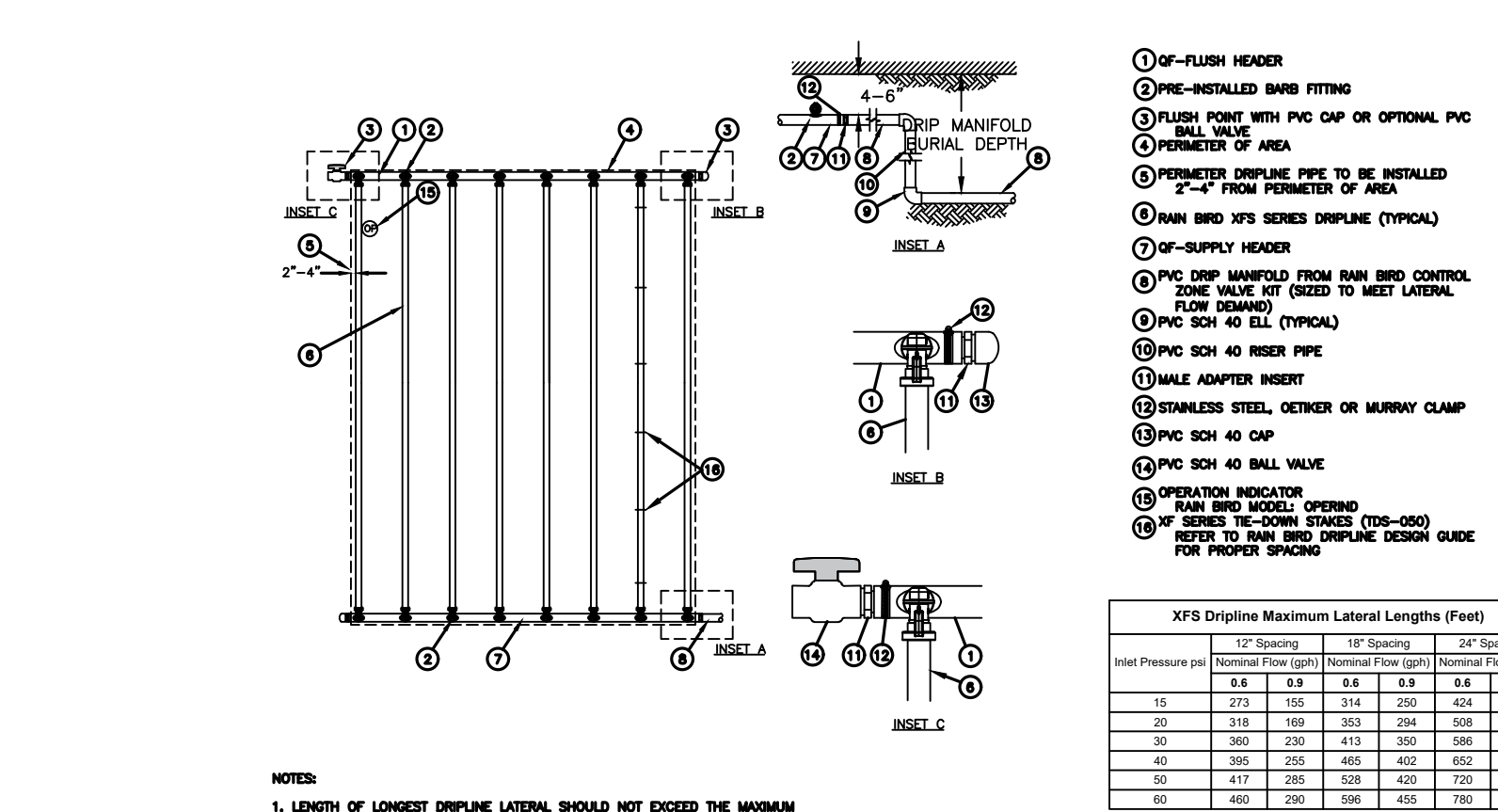


10 REMOTE CONTROL VALVE
NTS

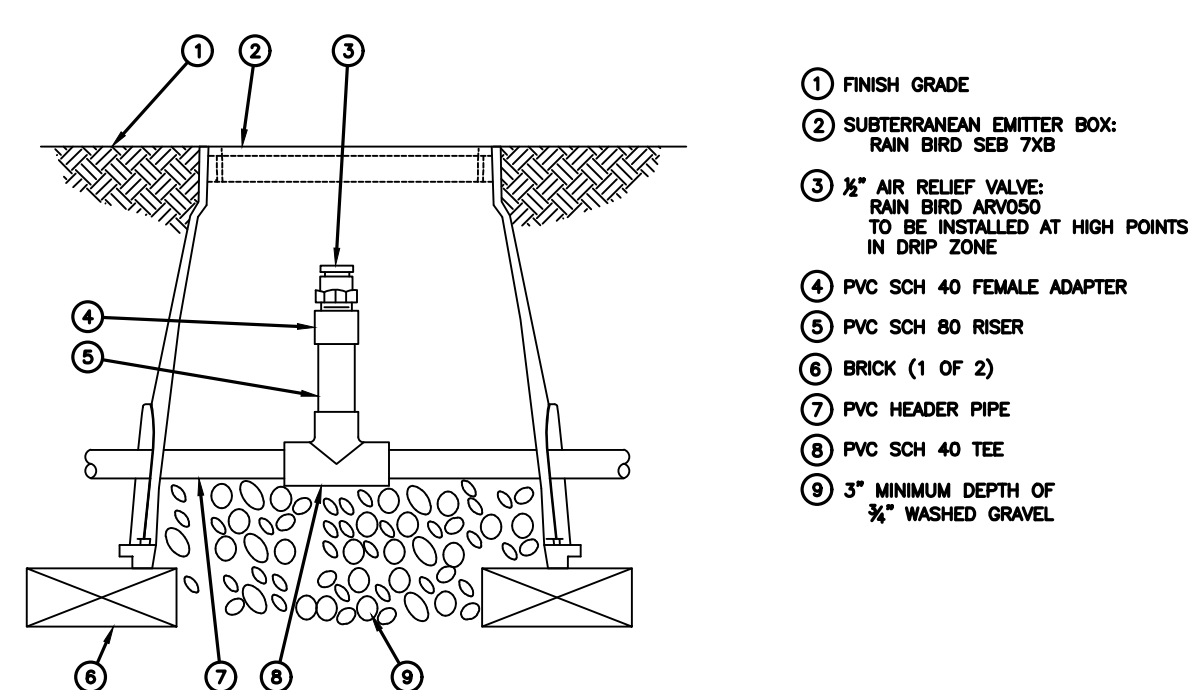


NOTE:
1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

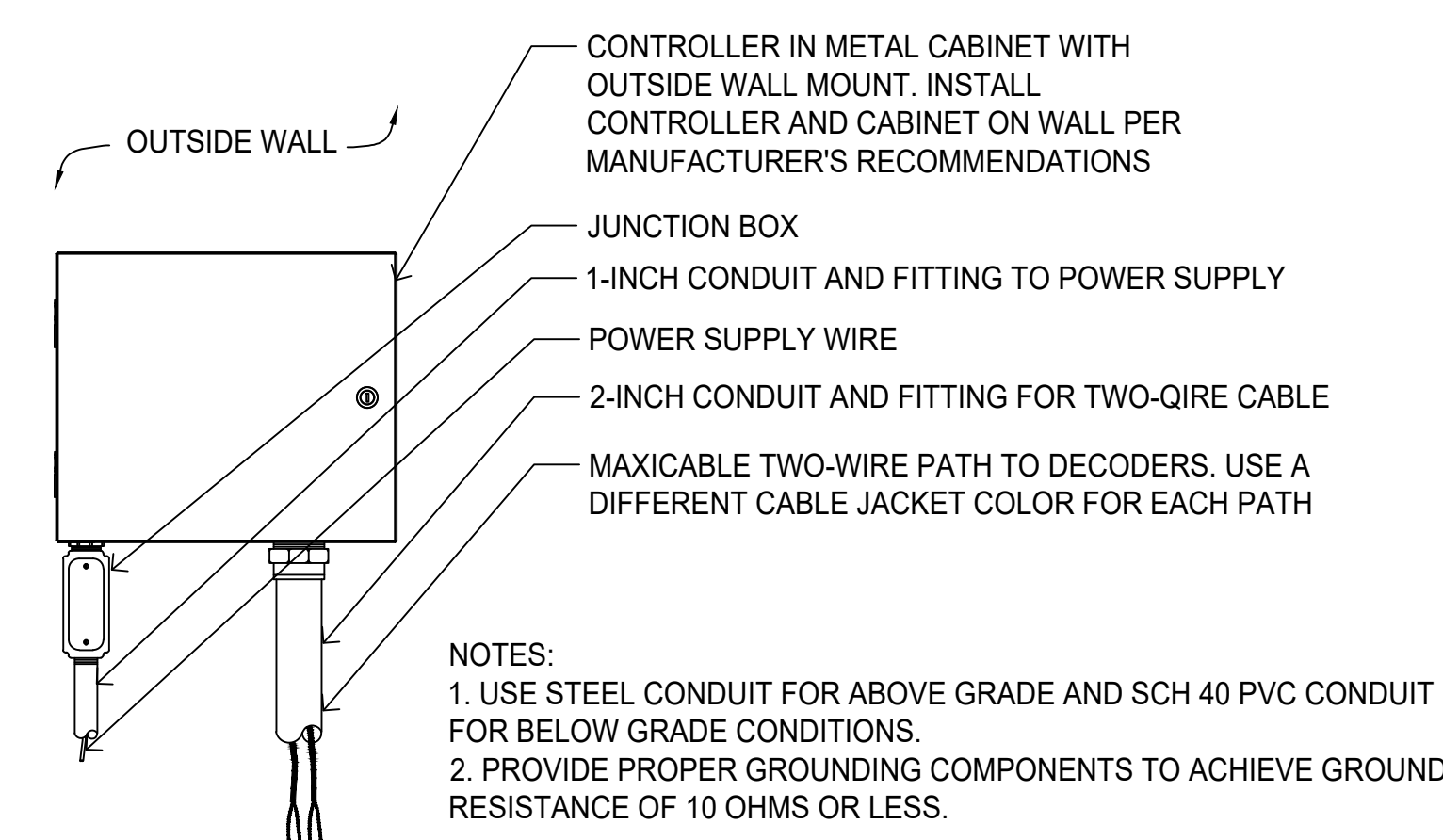
11 QUICK COUPLER VALVE
NTS



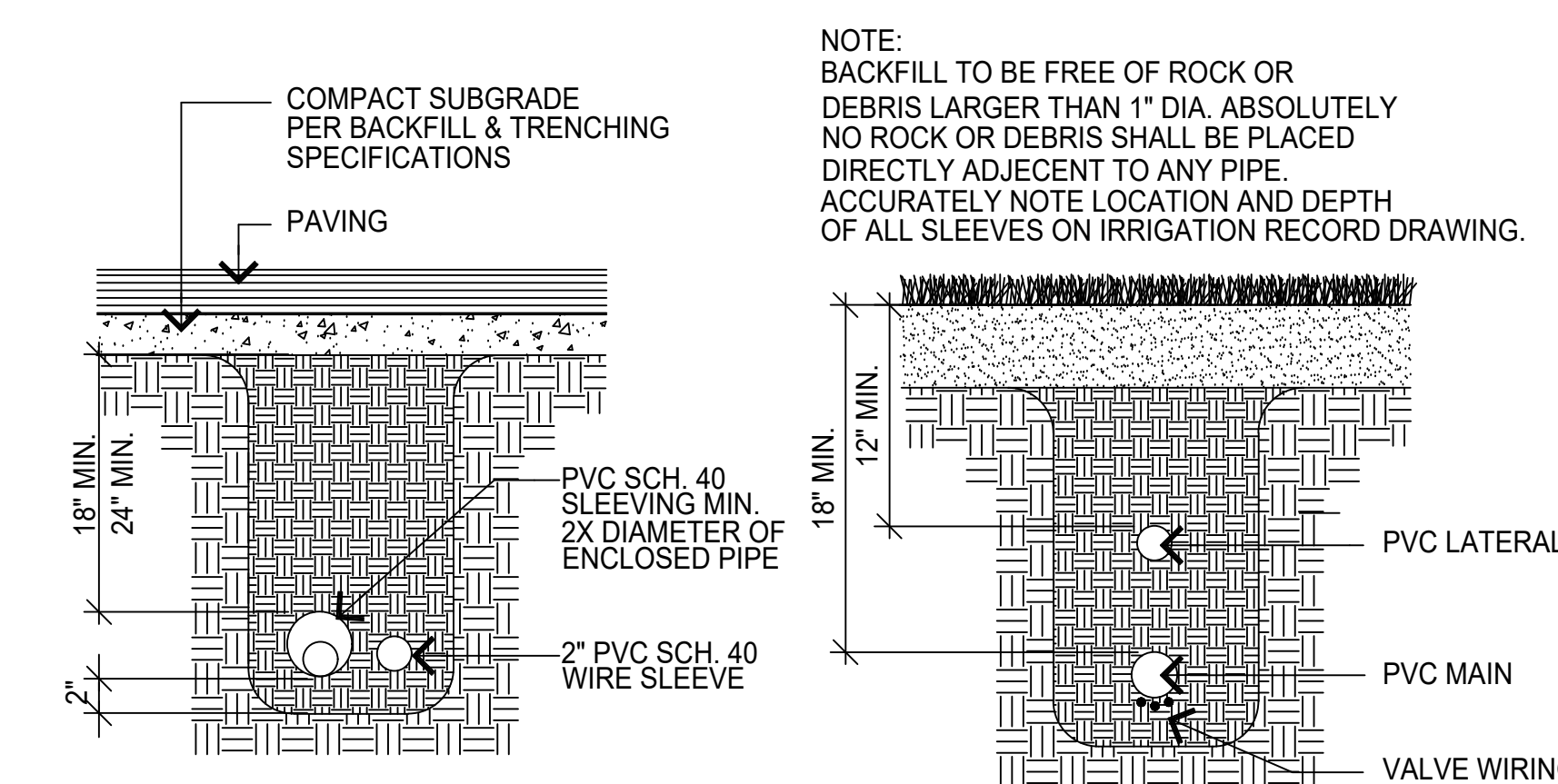
12 SUB-SURFACE DRIPLINE MANIFOLD
NTS



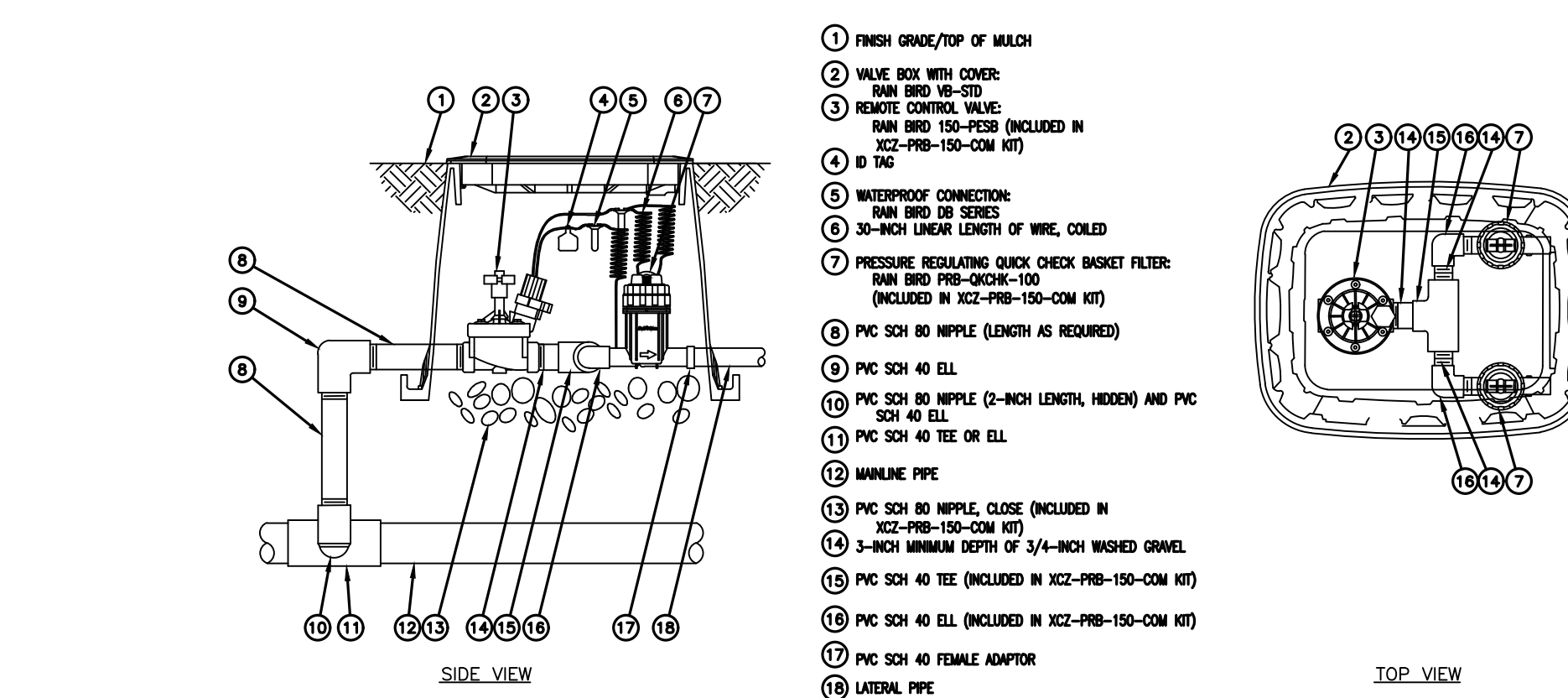
13 SUB-SURFACE DRIPLINE AIR RELIEF VALVE
NTS



14 WALL MOUNT CONTROLLER
NTS



15 SLEEVING / TRENCHING
NTS



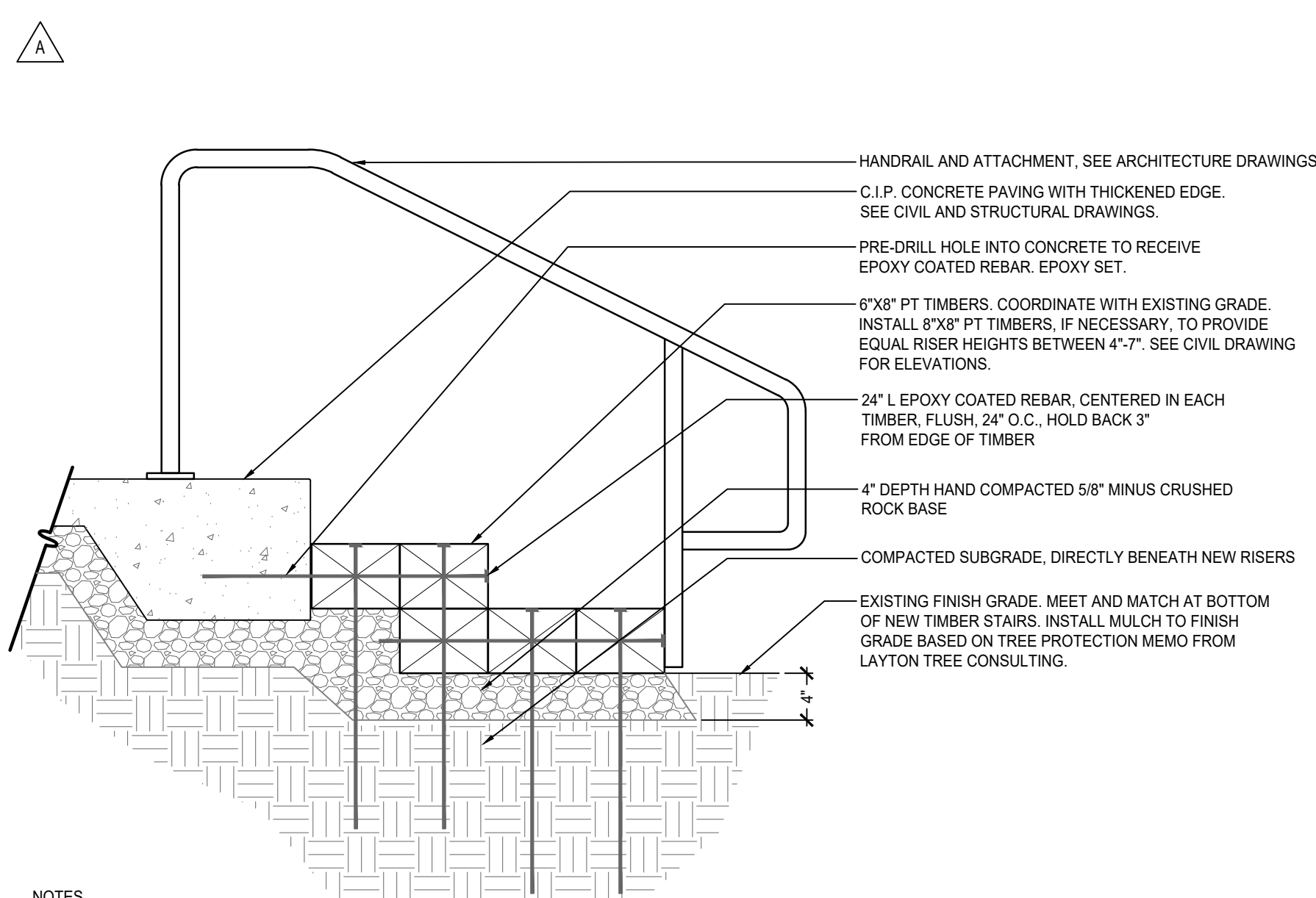
16 SUB-SURFACE DRIPLINE CONTROL VALVE
NTS

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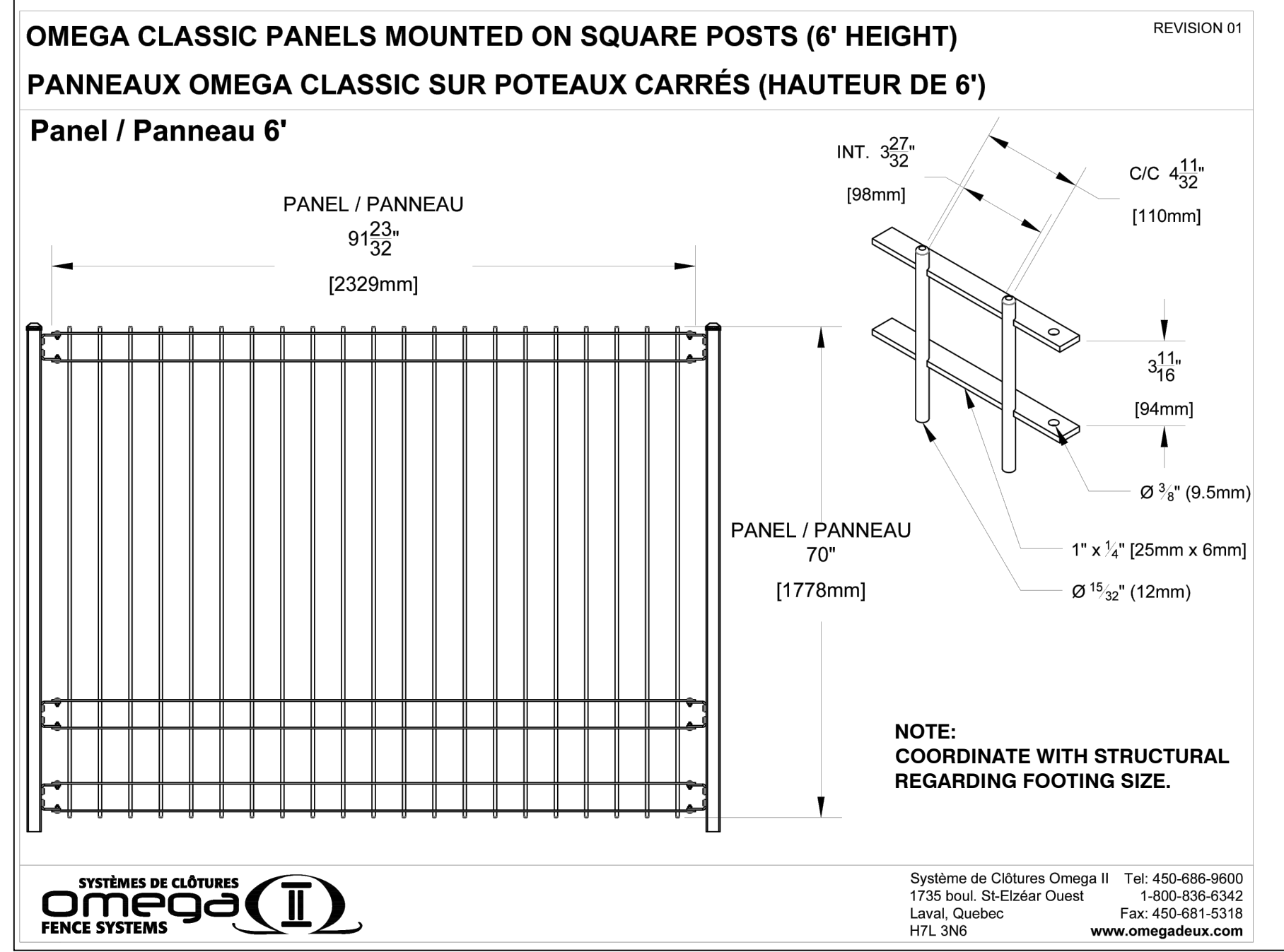
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Riot Games Seattle - Exterior
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PLANTING AND
IRRIGATION DETAILS
Scale

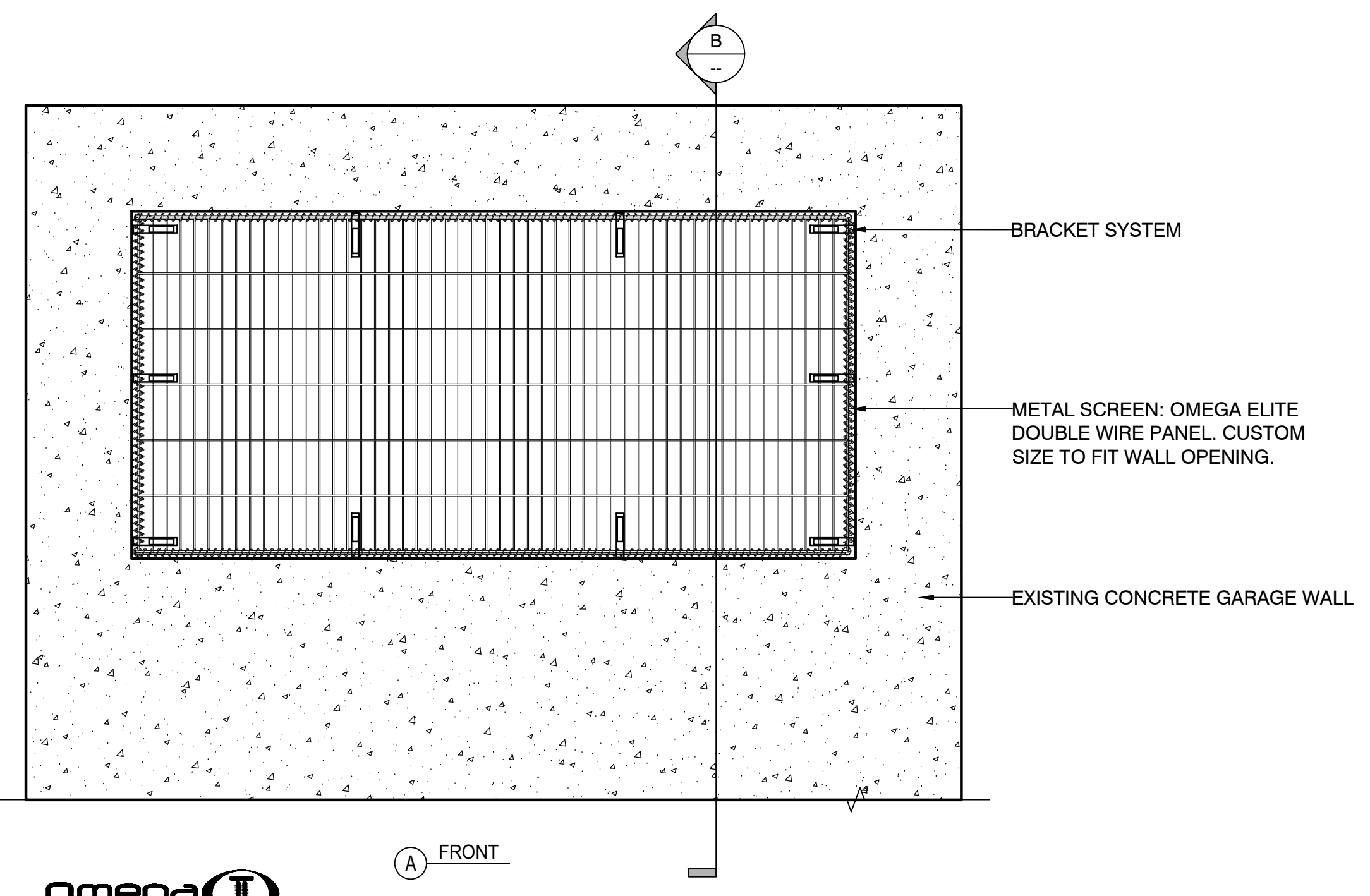


- NOTES:
1. REMOVE EXISTING WOOD TIMBERS.
 2. LIGHTLY EXCAVATE BY HAND, ONLY AREA TO RECEIVE NEW TIMBER STAIRS AND BASE MATERIAL.
 3. BOTTOM OF NEW STAIRS SHALL MEET AND MATCH EXISTING GRADES. NO GRADING SHALL BE ALLOWED PAST BASE OF STAIRS.

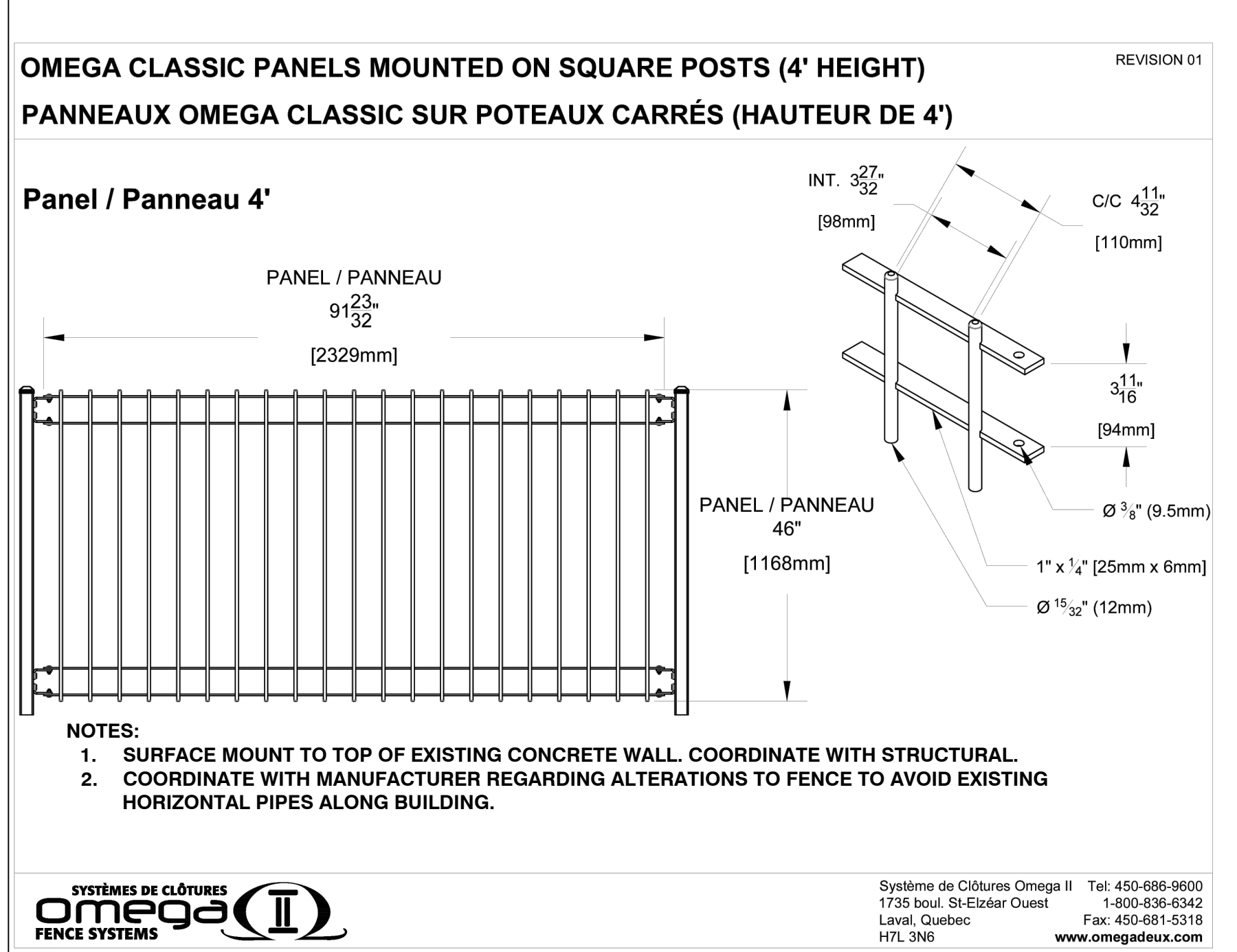
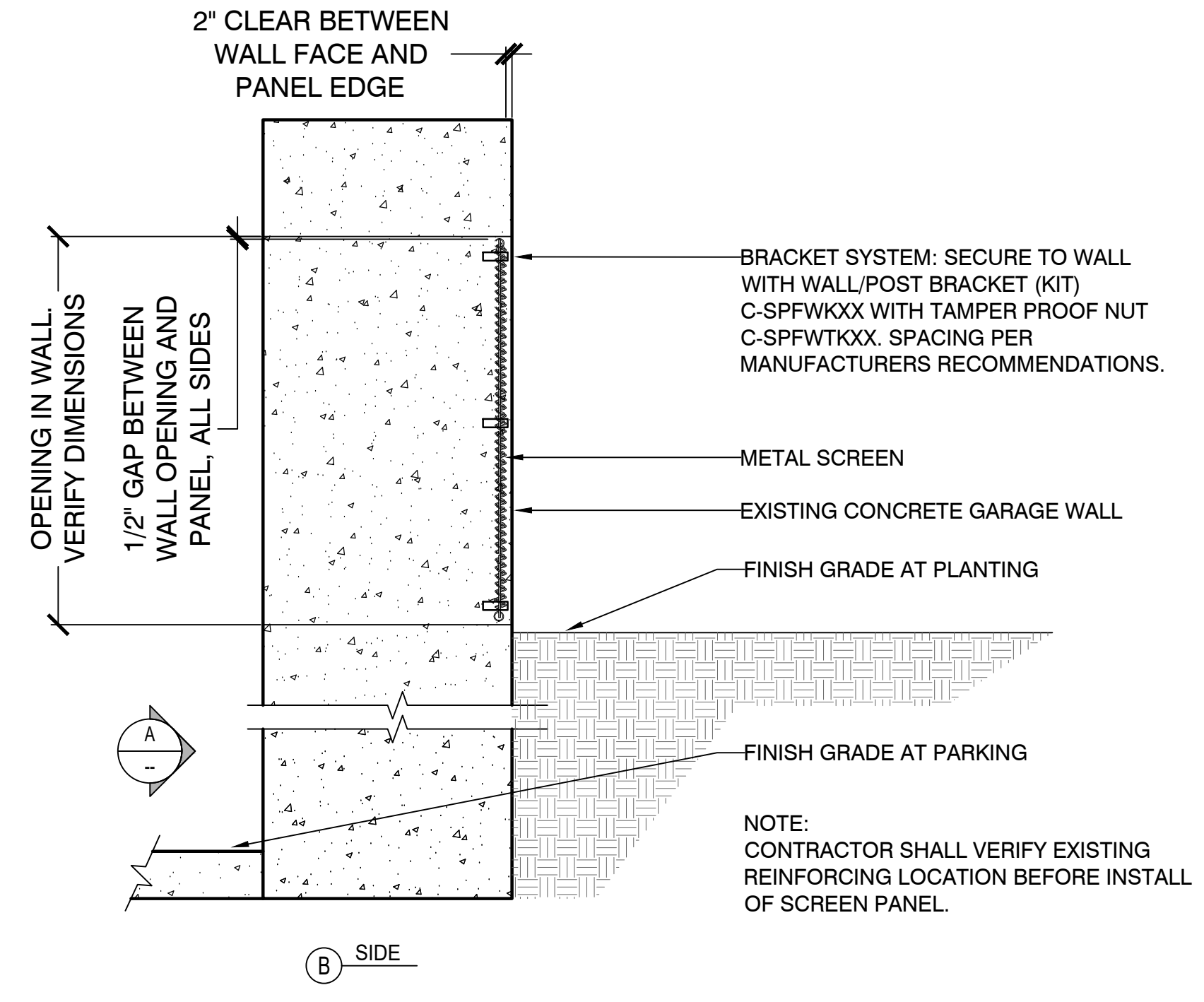
1 TIMBER STAIRS
1"=1'-0"



2 6' HT METAL FENCE
NTS



3 METAL SCREEN
NTS



5 4' HT METAL FENCE
NTS

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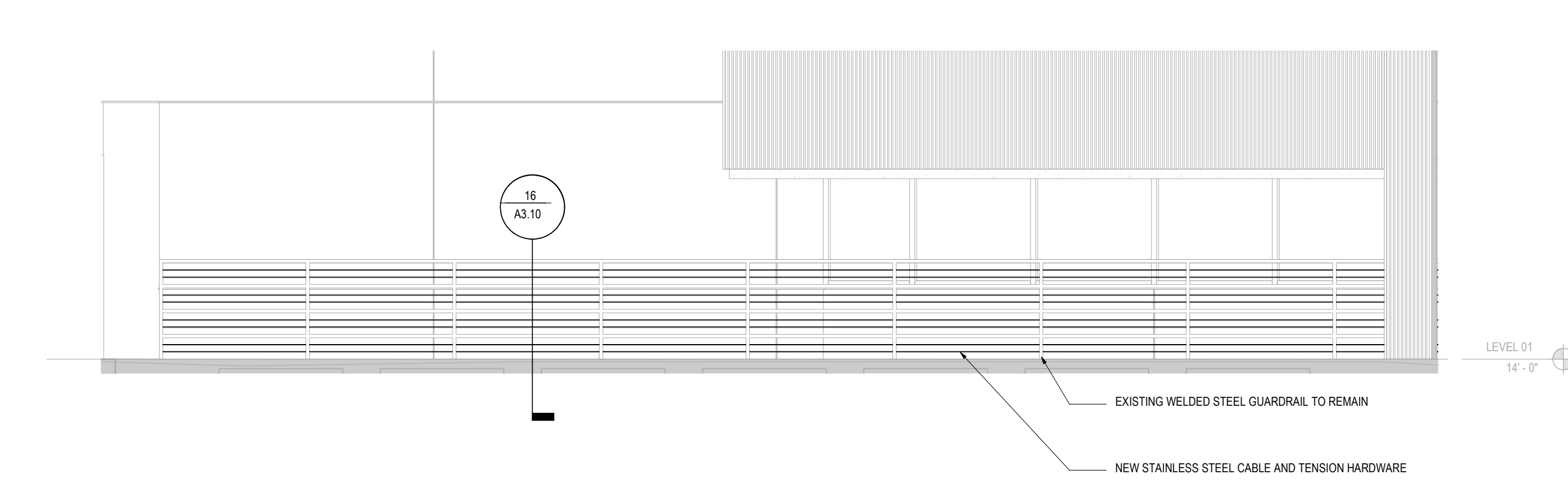
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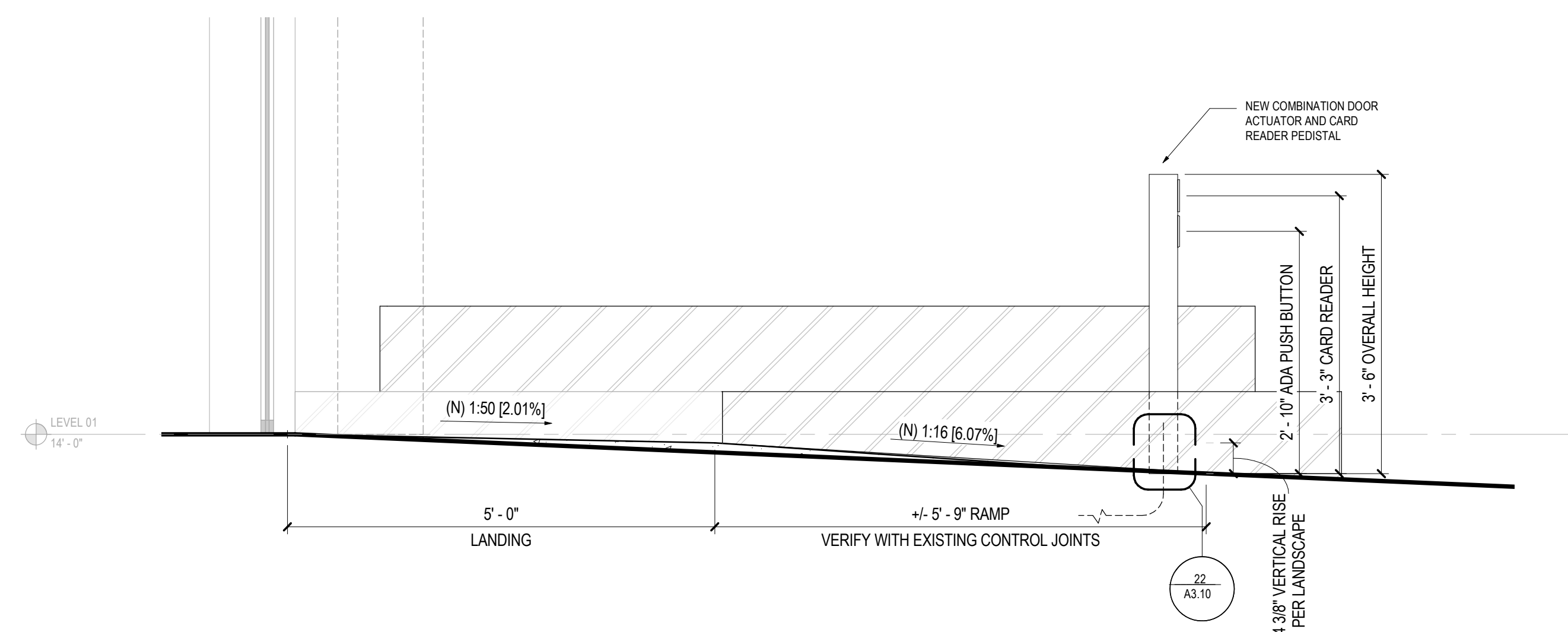
Description
SITE DETAILS

Scale



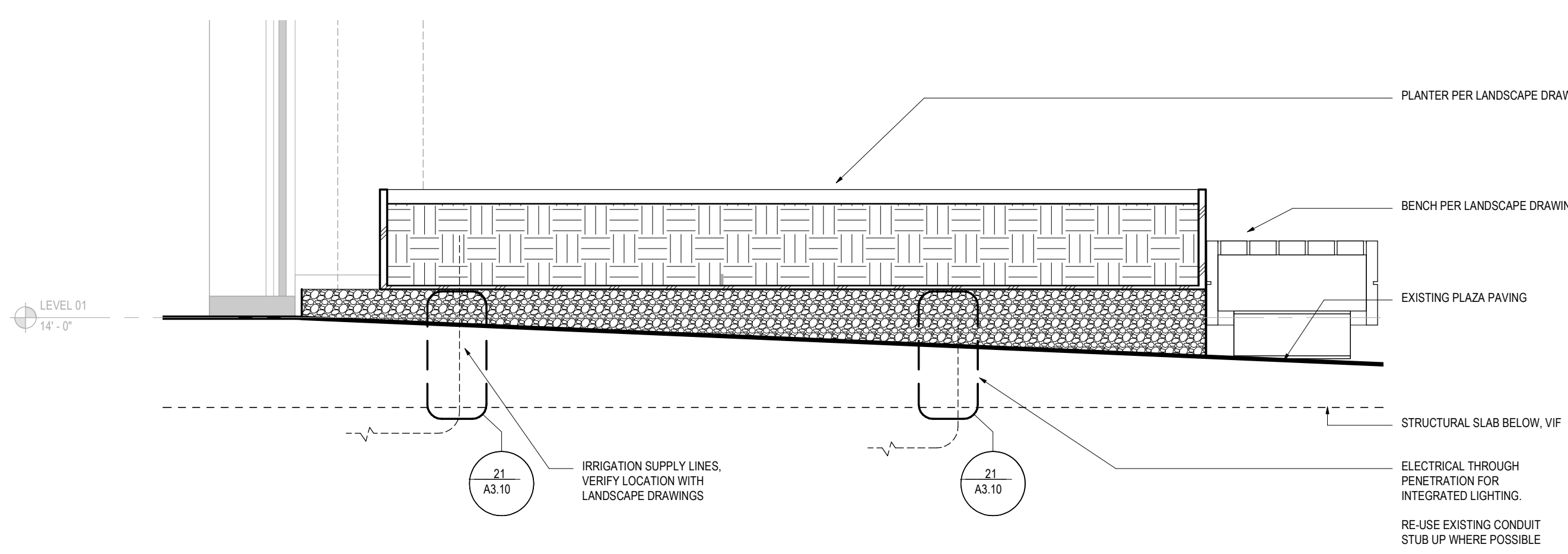
05 ELEVATION - PLAZA GUARDRAIL

SCALE: 3/8" = 1'-0"



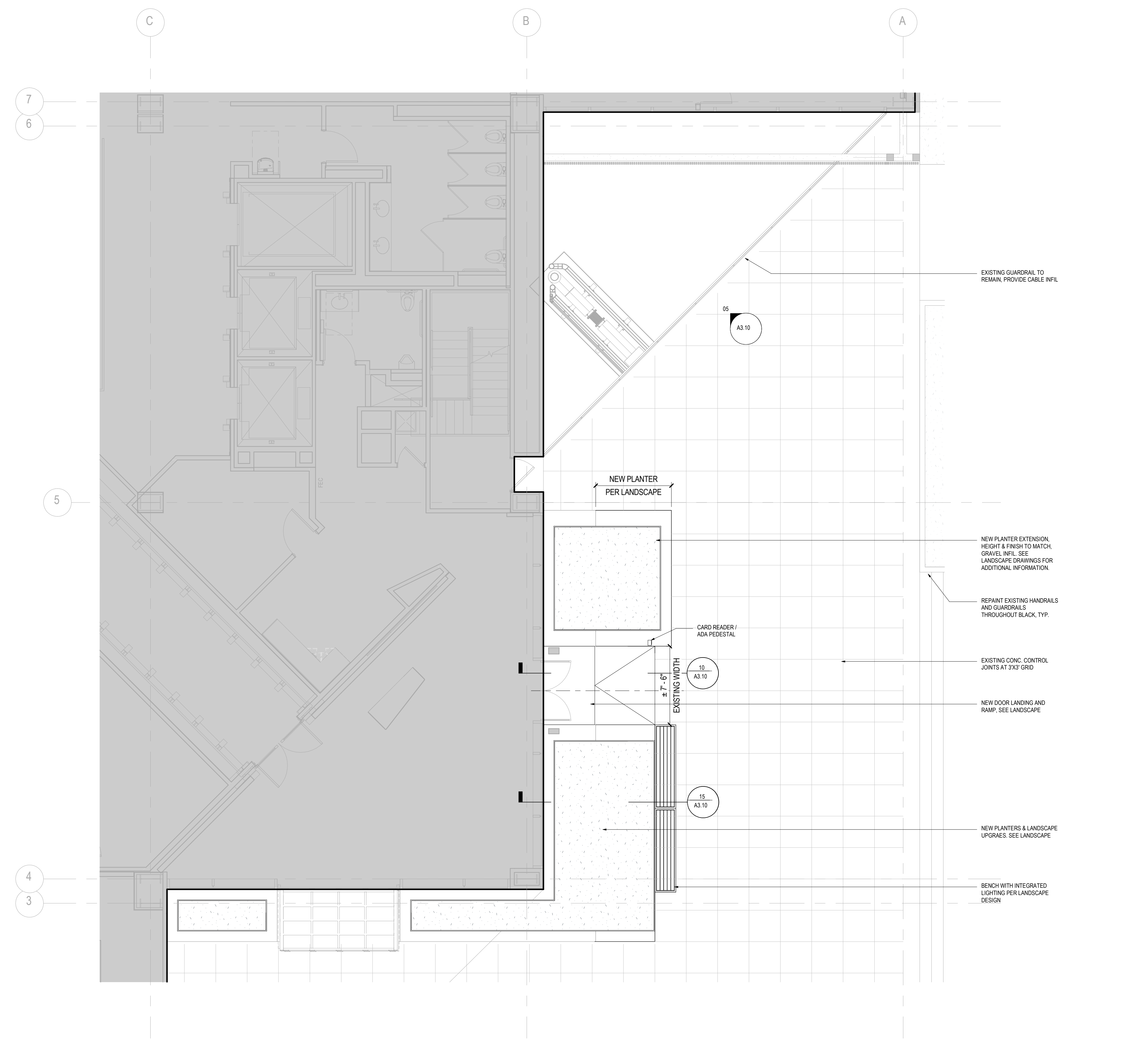
10 SECTION - ENTRY DOOR LANDING

SCALE: 3/8" = 1'-0"



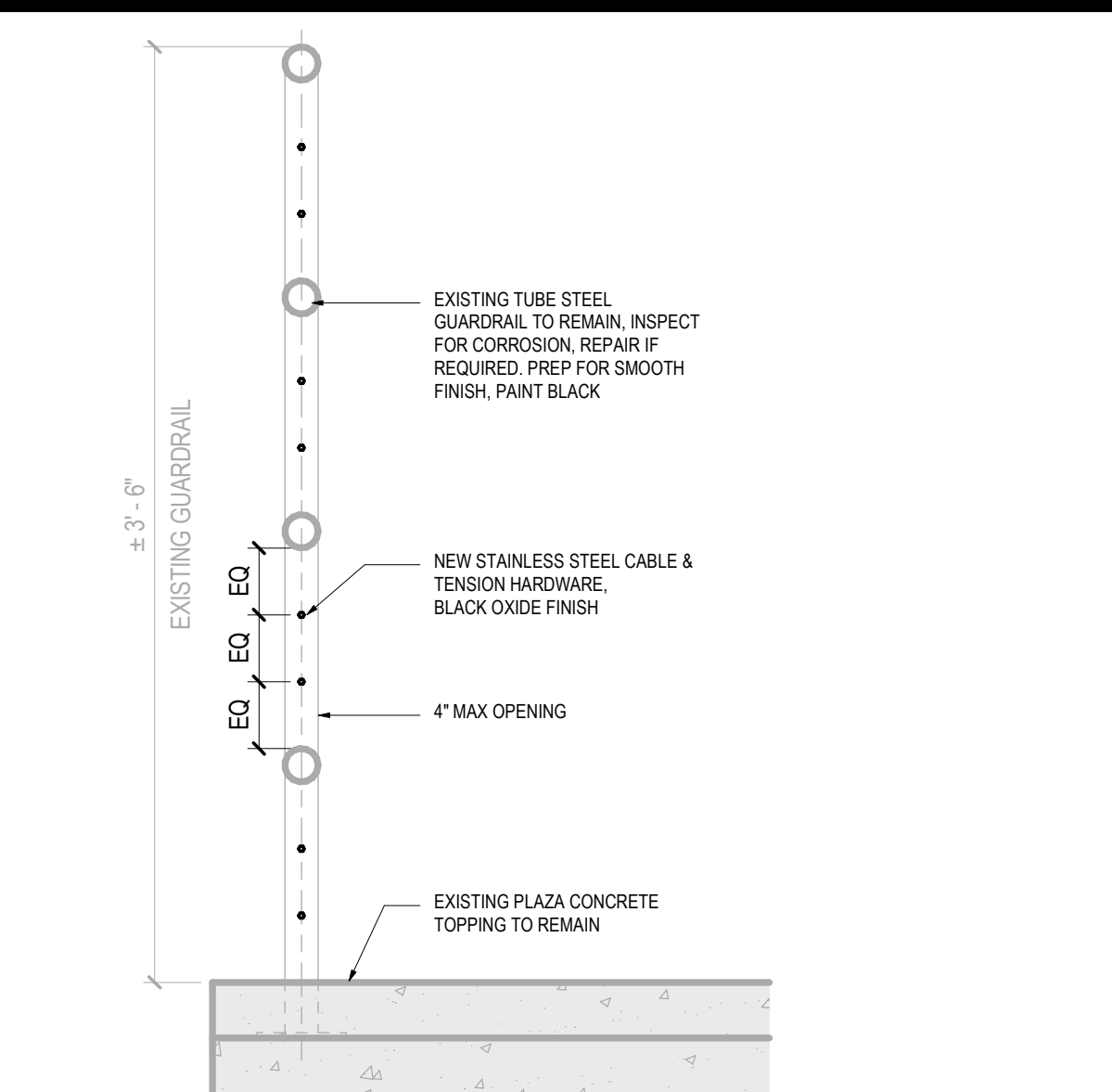
15 SECTION - PLAZA PLANTER EXTENSION

SCALE: 3/8" = 1'-0"



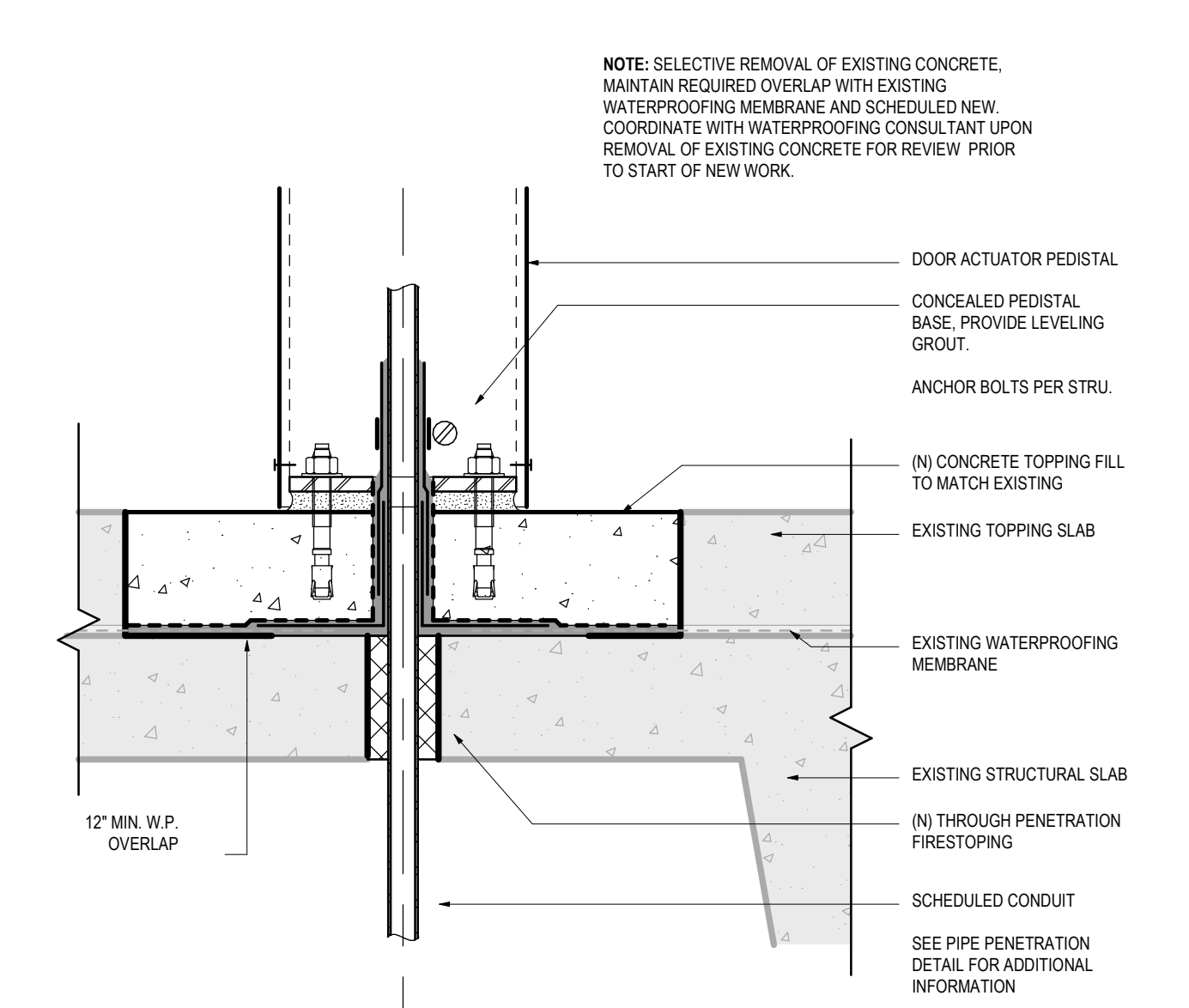
13 CONSTRUCTION PLAN - PLAZA

SCALE: 3/8" = 1'-0"



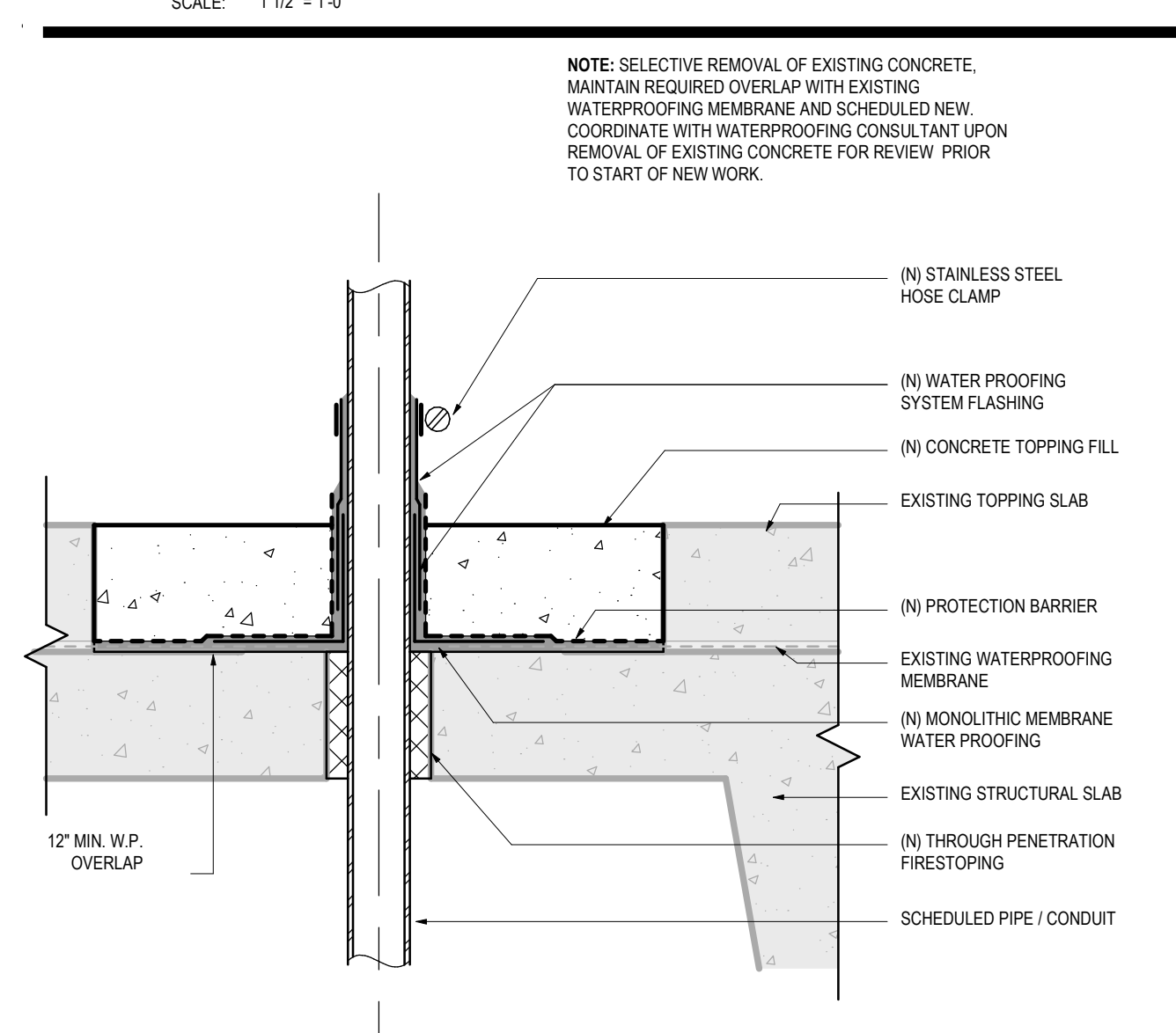
16 EXISTING GUARDRAIL - RETROFIT

SCALE: 1/2" = 1'-0"



22 ACTUATOR PEDISTAL ATTACHMENT

SCALE: 3/4" = 1'-0"



21 PLAZA PIPE PENETRATION FLASHING

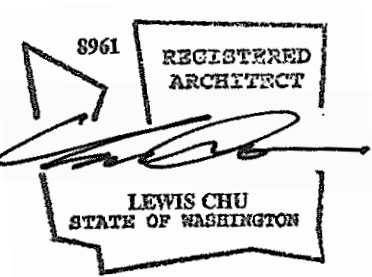
SCALE: 3/4" = 1'-0"

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Date	Description
05/10/2023	ISSUE CD 90%
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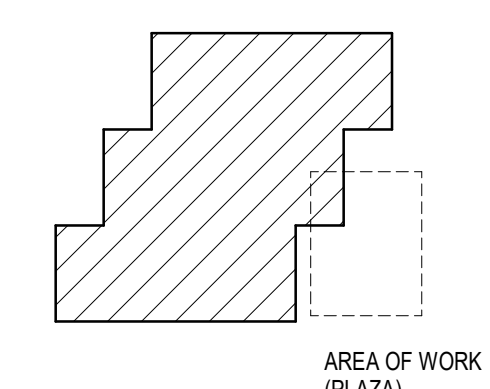
Project Number
05.3853.000

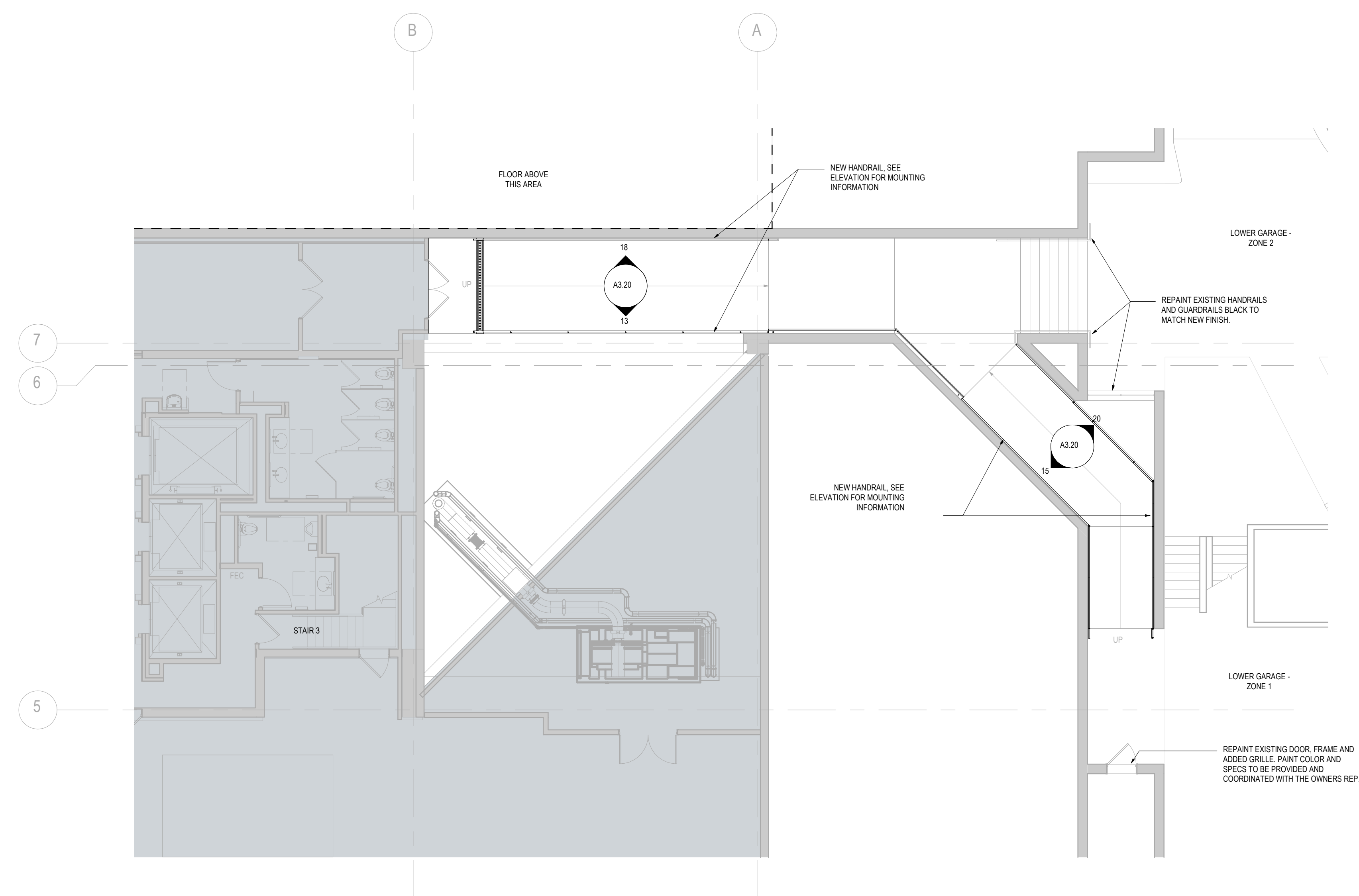
Description
ENLARGED PLAN AND ELEVATIONS - PLAZA

Scale
As indicated

A3.10

KEY



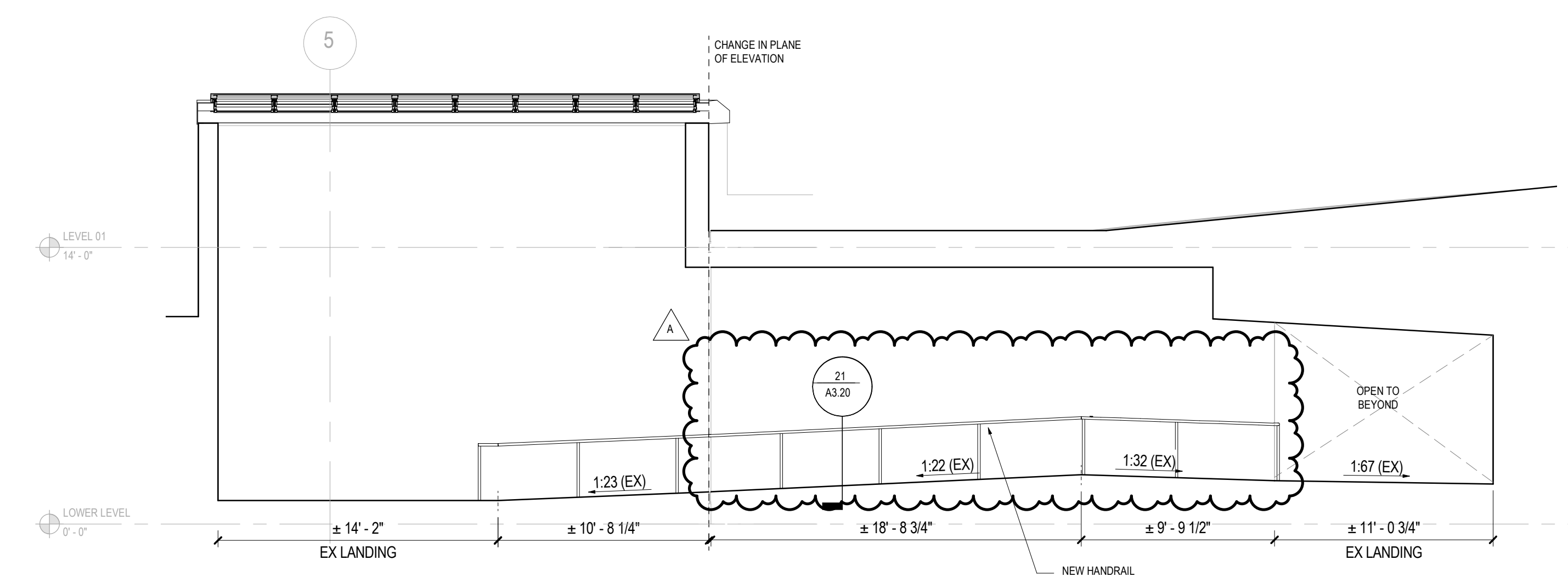


08 CONSTRUCTION PLAN - LOWER LEVEL RAMPS
SCALE: 1/8" = 1'-0"

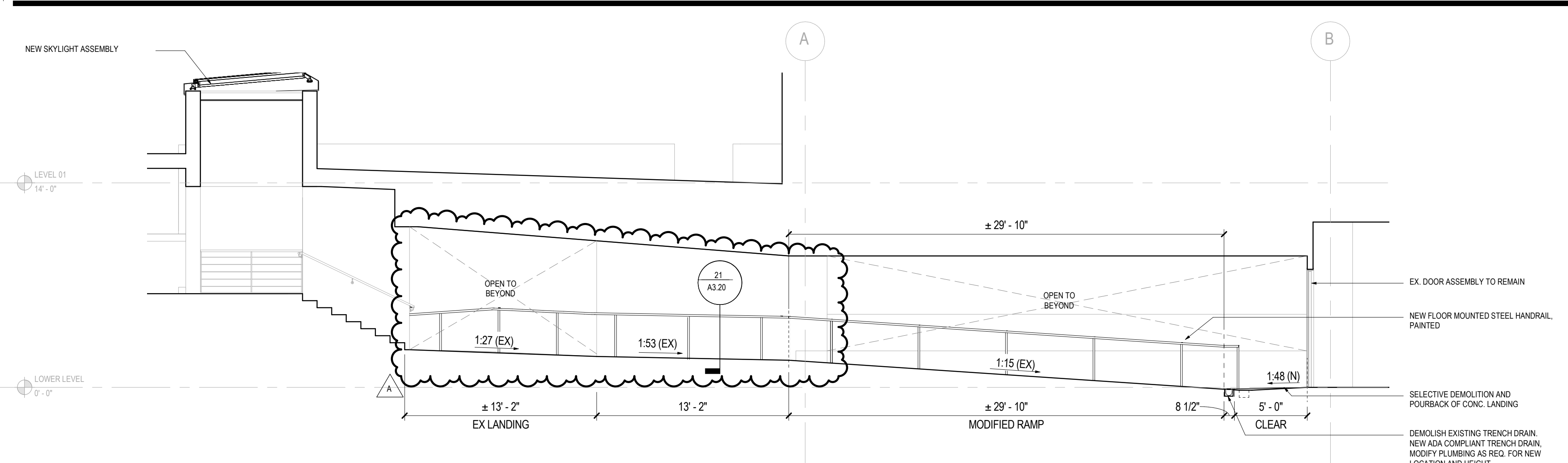
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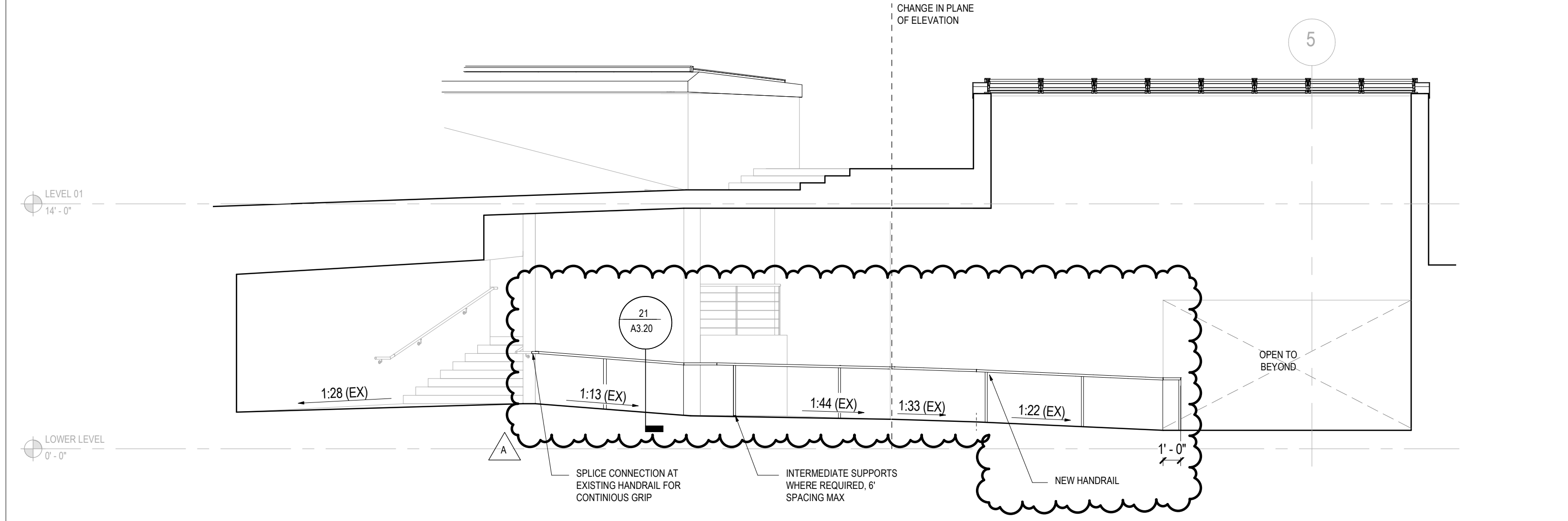
Date	Description
05/10/2023	ISSUE CD 90%
05/19/2023	ISSUE FOR PERMIT
10/06/2023	PLAN REVIEW CORRECTIONS



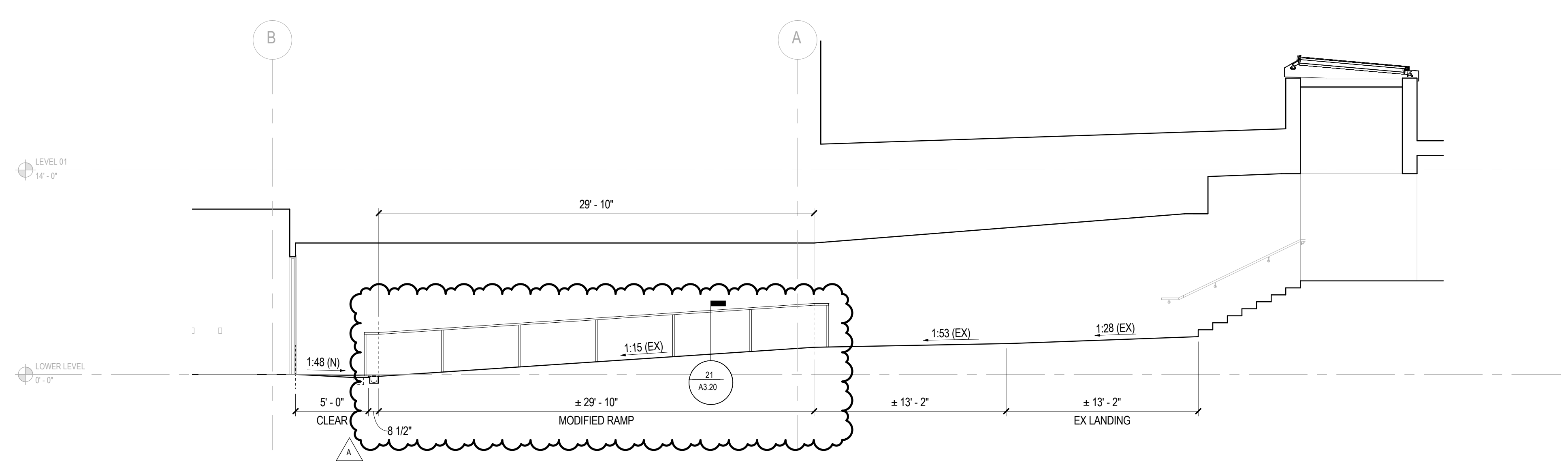
15 ELEVATION - LOWER PASSAGEWAY - SOUTH
SCALE: 3/16" = 1'-0"



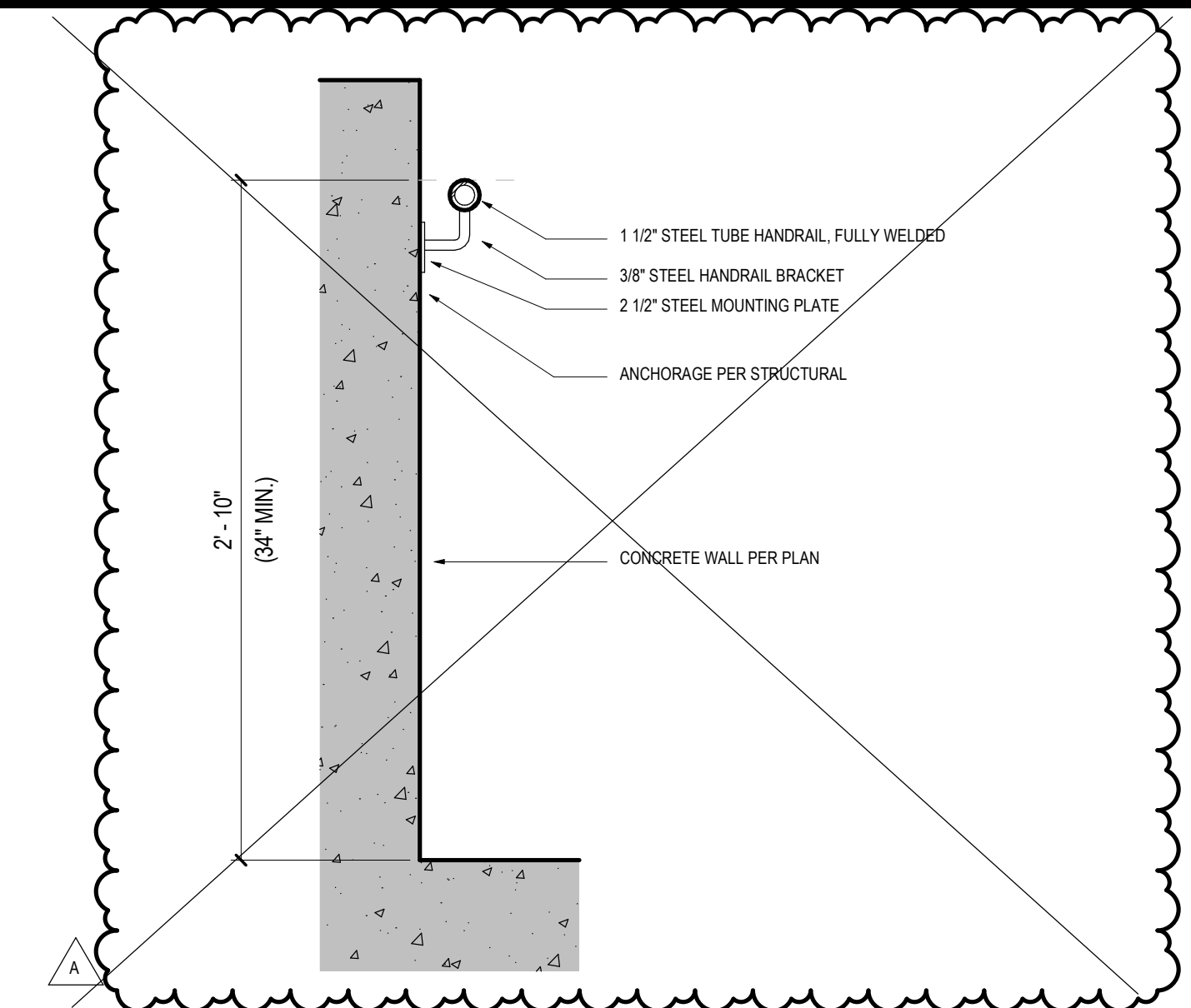
13 ELEVATION - LOWER PASSAGEWAY - EAST
SCALE: 3/16" = 1'-0"



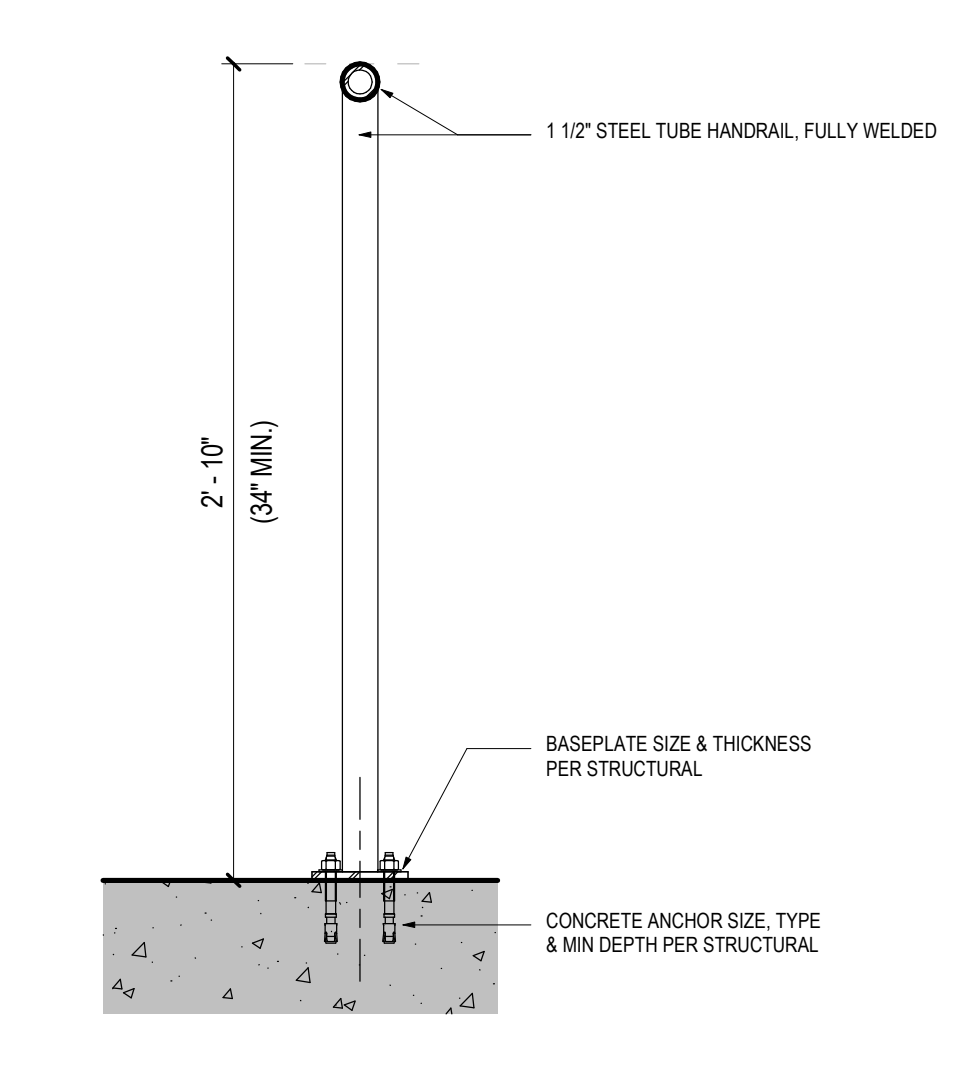
20 ELEVATION - LOWER PASSAGEWAY - NORTH
SCALE: 3/16" = 1'-0"



18 ELEVATION - LOWER PASSAGEWAY - WEST
SCALE: 3/16" = 1'-0"

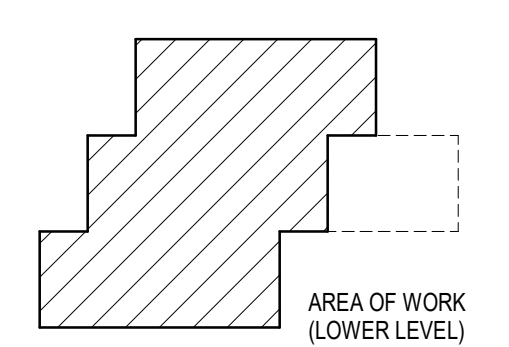


22 DT_WALL HANDRAIL
SCALE: 1/2" = 1'-0"

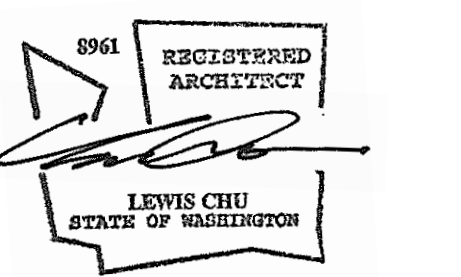


21 DT_FREESTANDING HANDRAIL
SCALE: 1/2" = 1'-0"

KEY



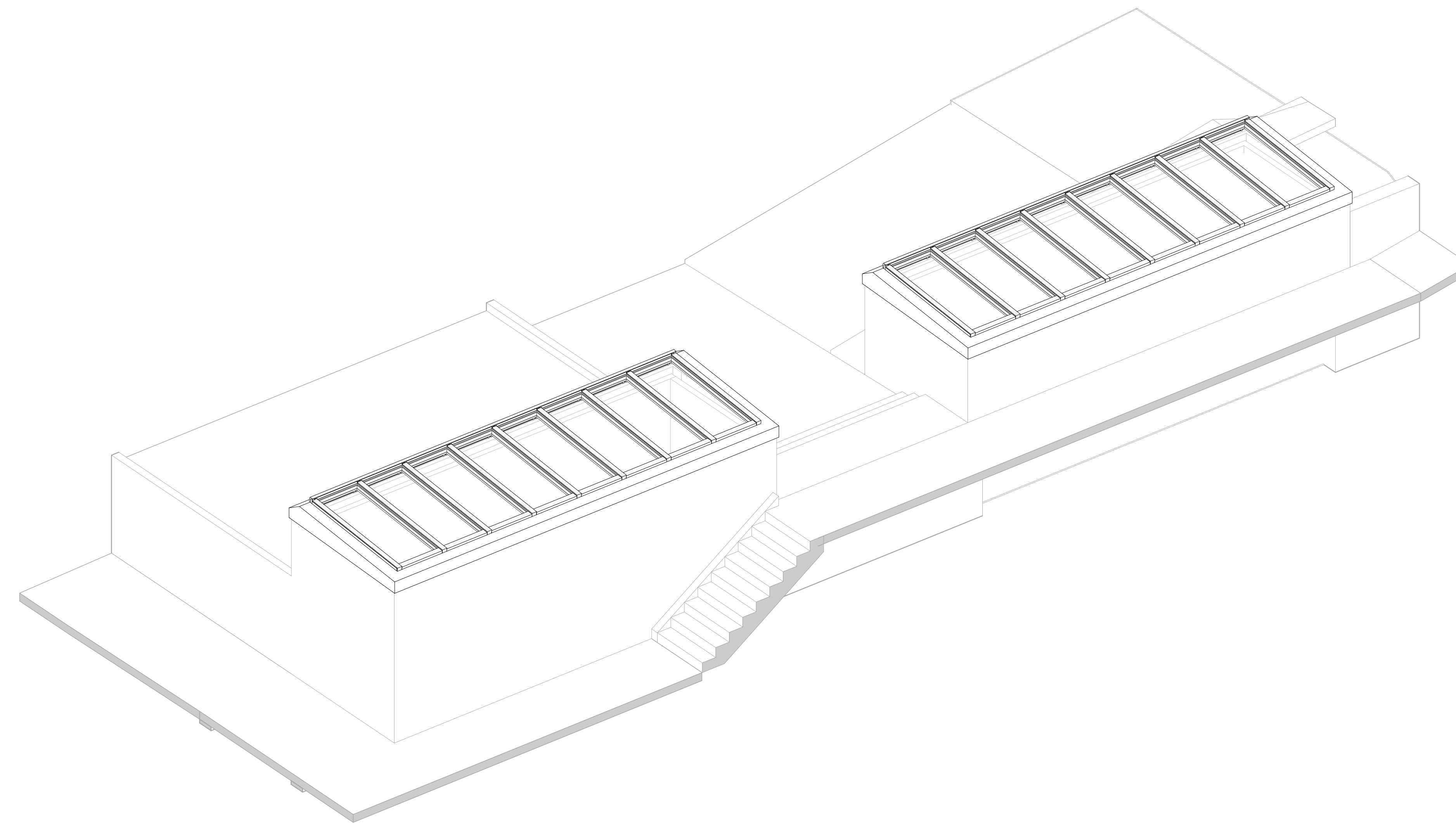
Seal / Signature



Project Name
Riot Games Seattle - Exterior Upgrades
Project Number
05.3853.000
Description
ENLARGED PLAN AND ELEVATIONS - LOWER LEVEL RAMPS

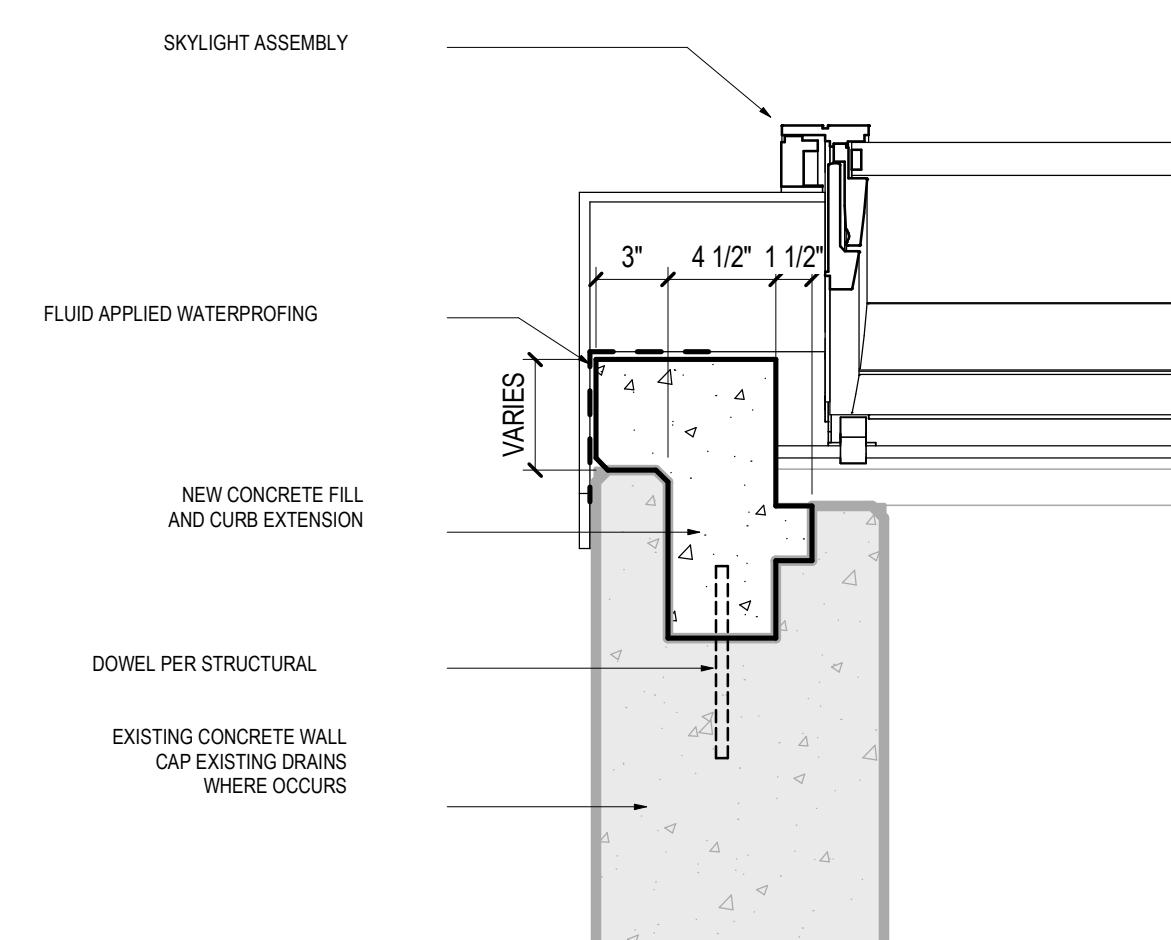
Scale
As Indicated

A3.20



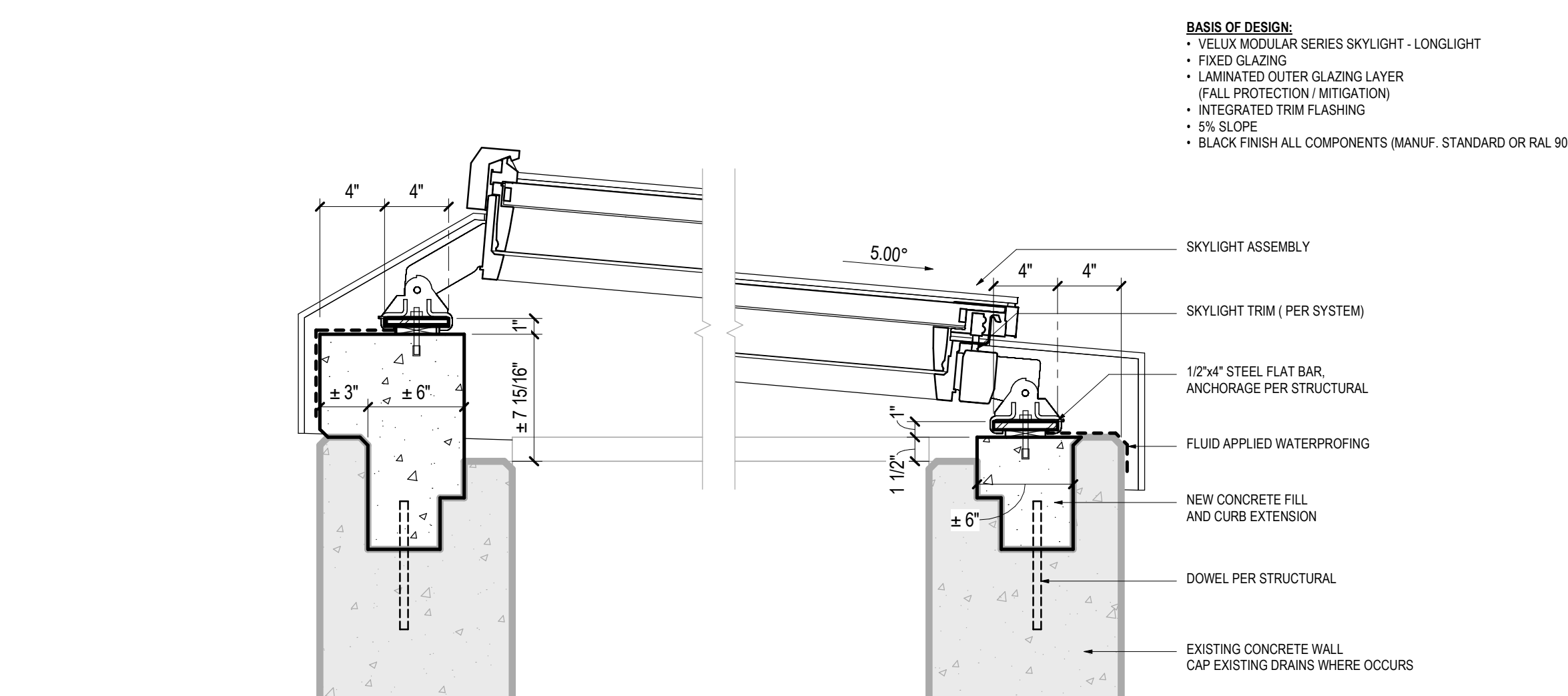
03 3D AXON - SKYLIGHTS

SCALE:



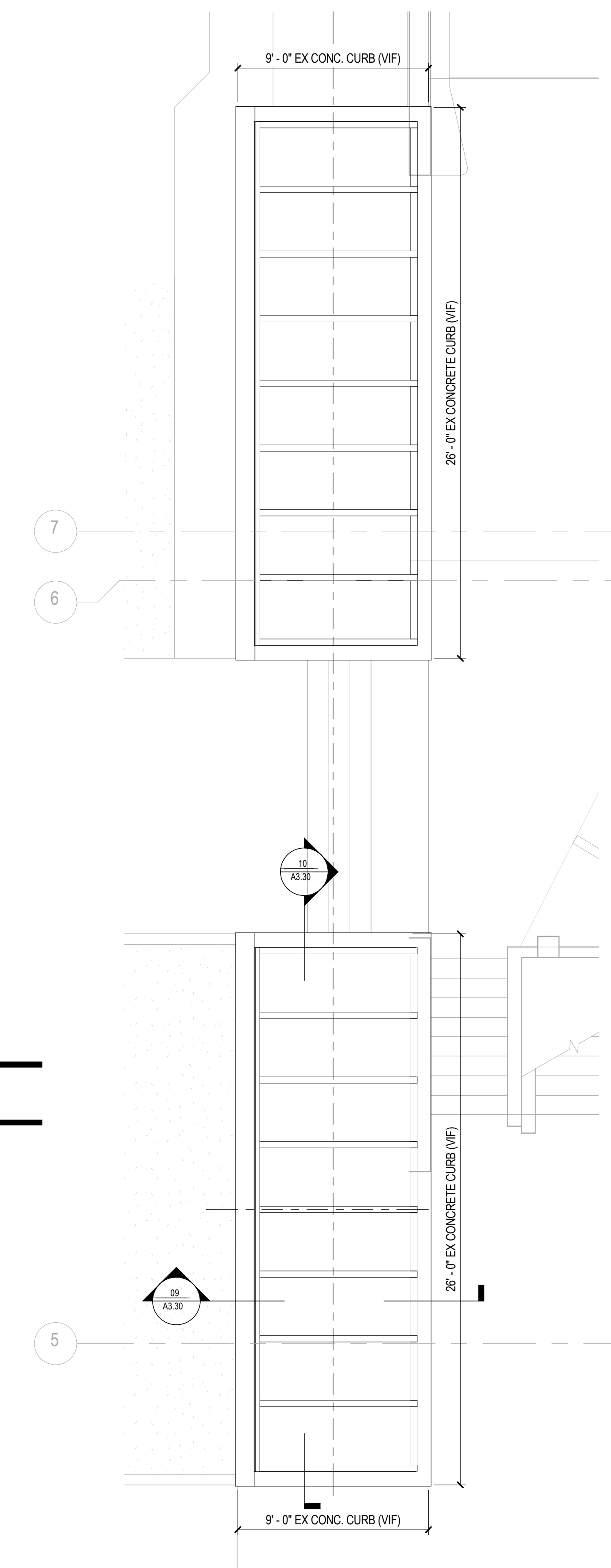
06 DETAIL - SKYLIGHT - ATTACHMENT - SIDE

SCALE: 1/2" = 1'-0"



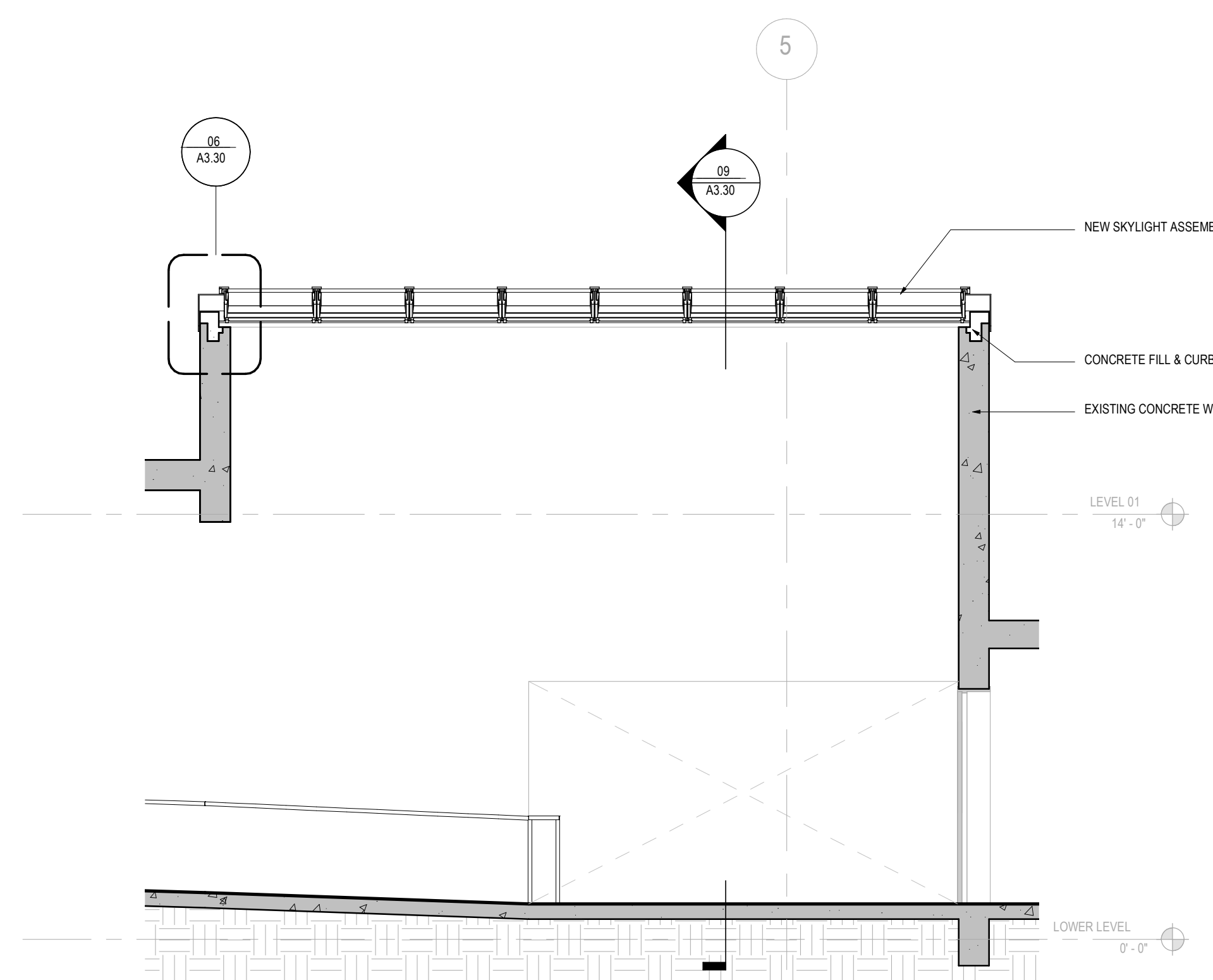
05 DETAIL - SKYLIGHT - ATTACHMENT

SCALE: 1/2" = 1'-0"



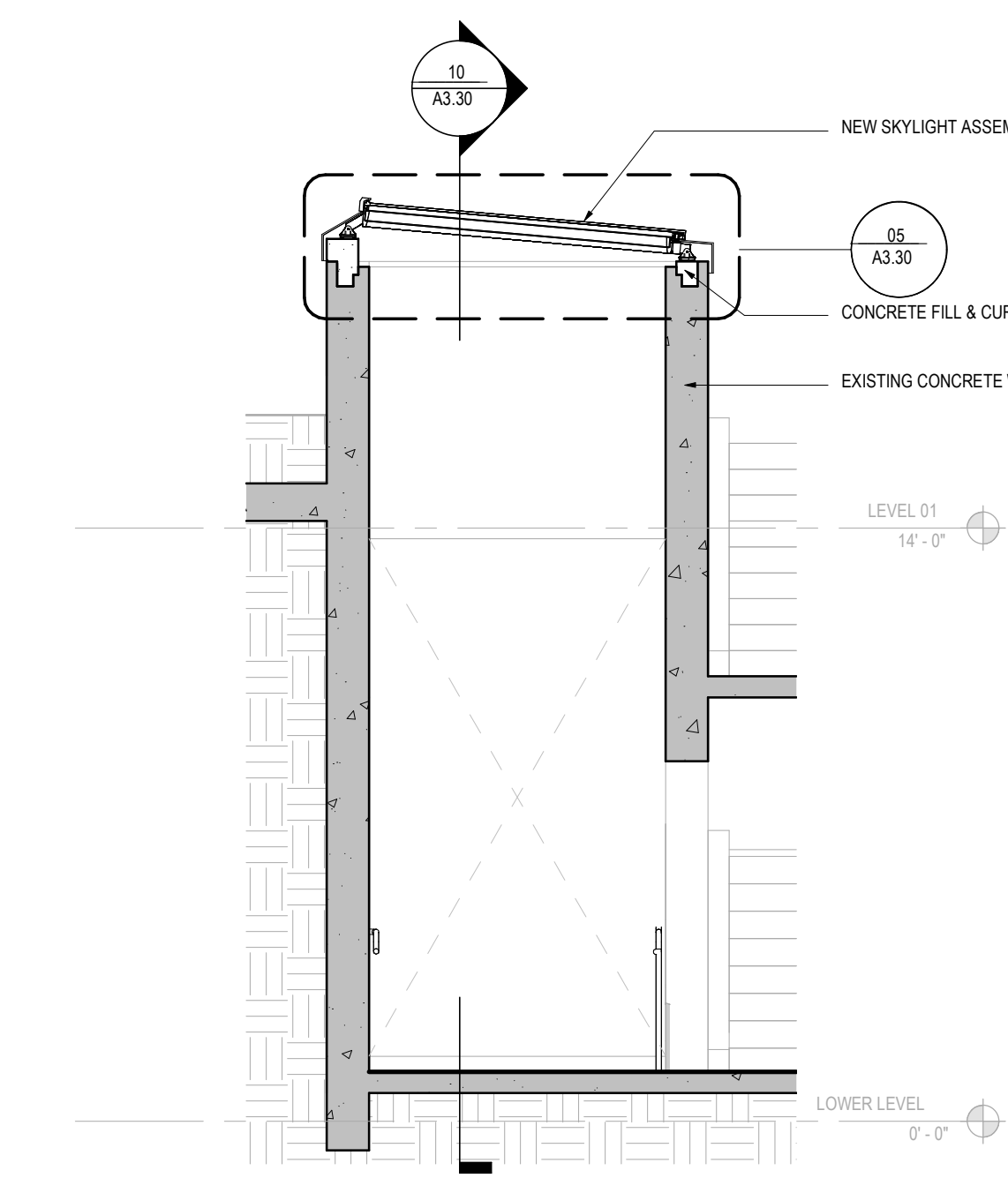
01 CONSTRUCTION PLAN - SKYLIGHT

SCALE: 1/8" = 1'-0"



10 SECTION - SKYLIGHT - EW

SCALE: 1/8" = 1'-0"



09 SECTION - SKYLIGHT - NS

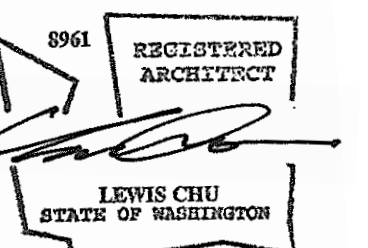
SCALE: 1/8" = 1'-0"

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Seal / Signature

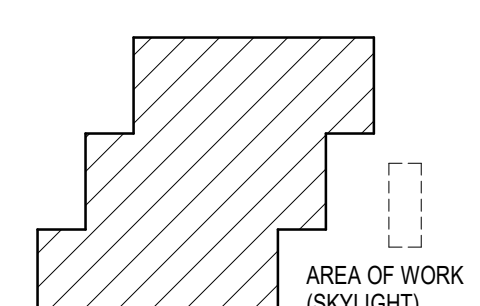


Project Name
Riot Games Seattle - Exterior Upgrades

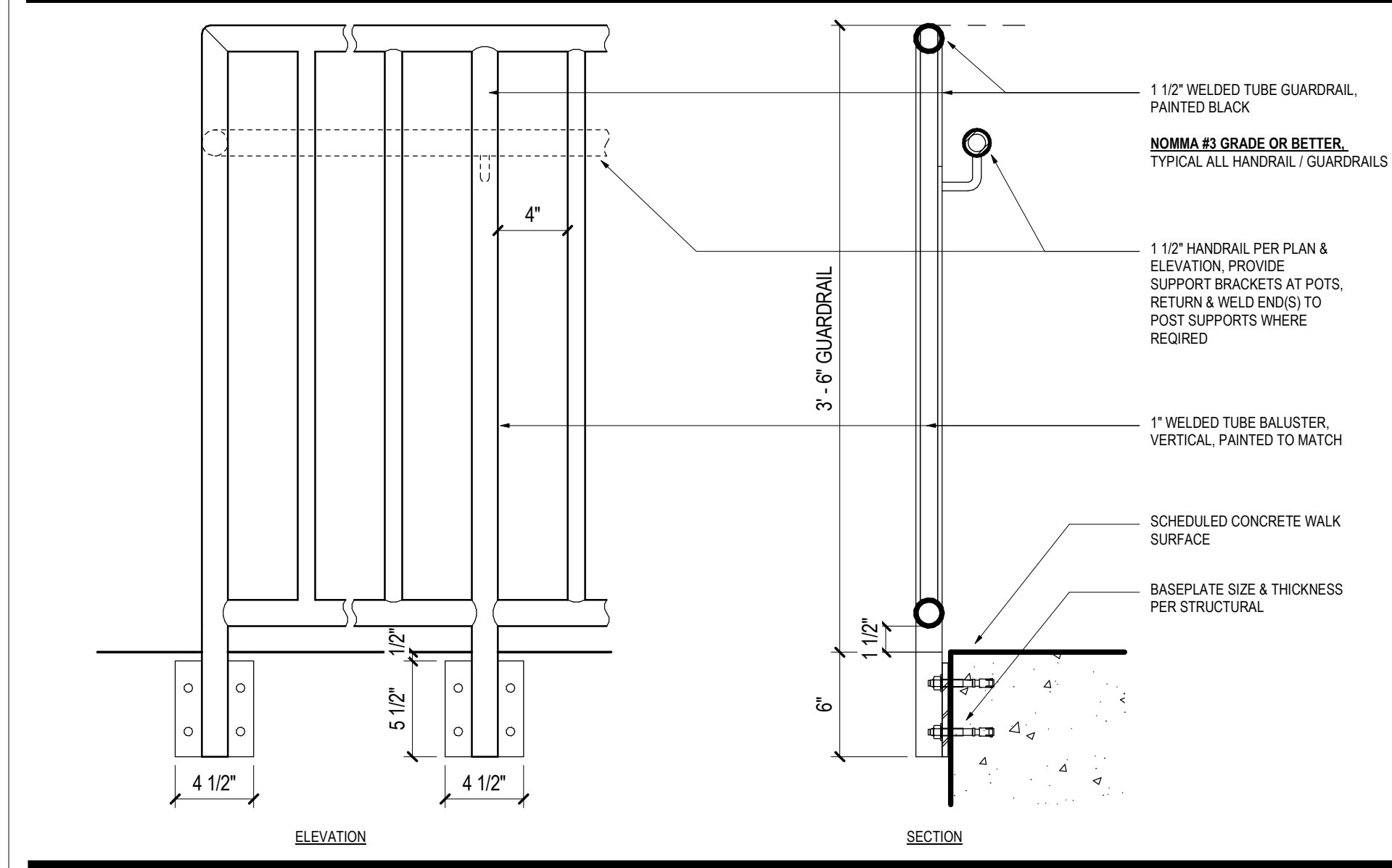
Project Number
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Description
ENLARGED PLAN AND ELEVATIONS - SKYLIGHT

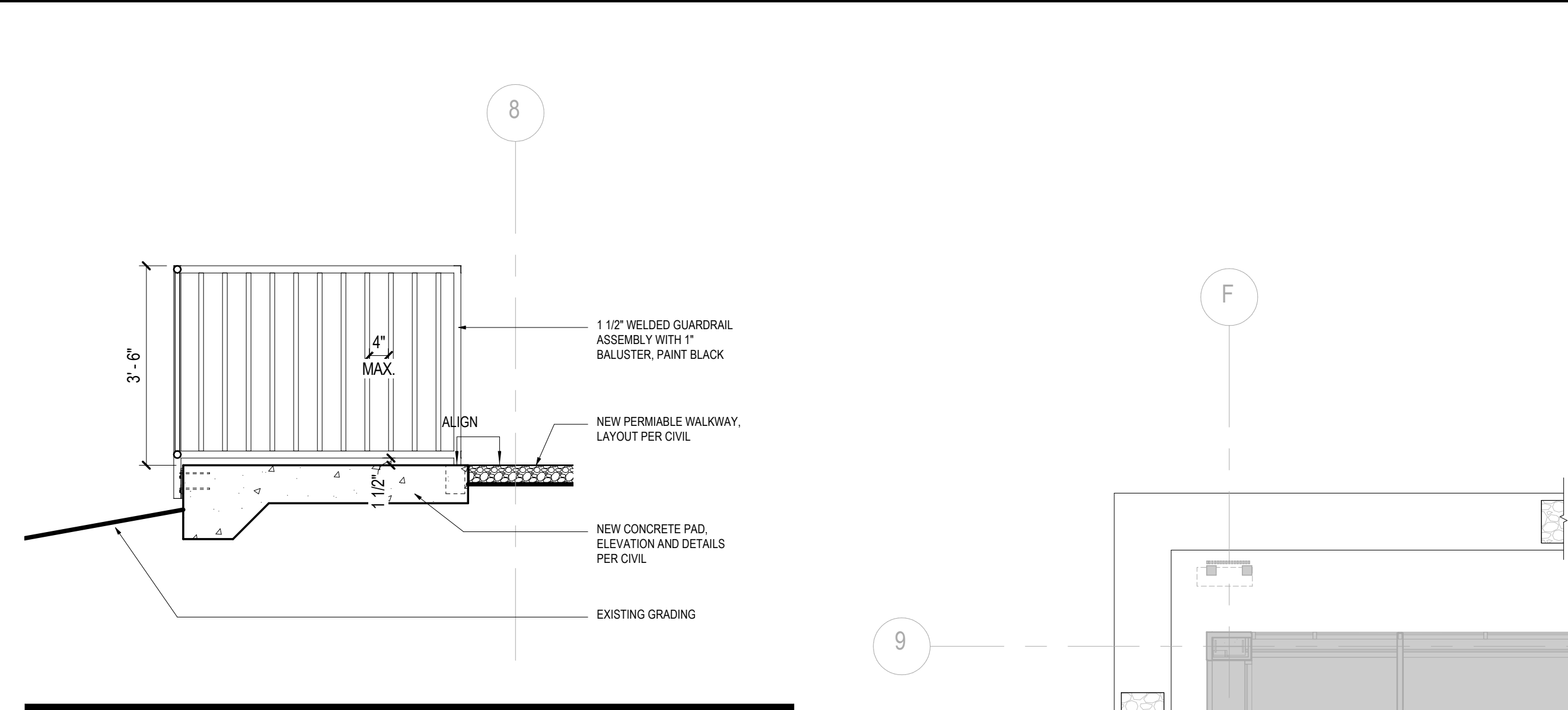
Scale
As indicated



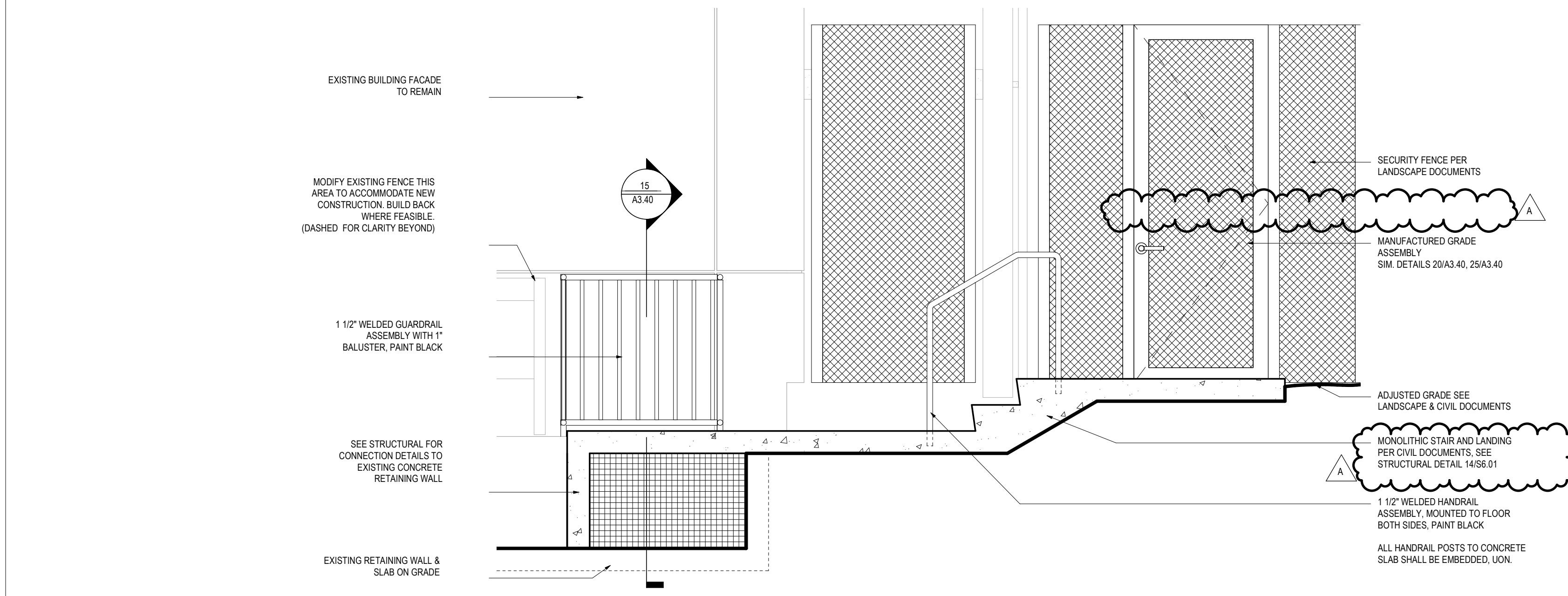
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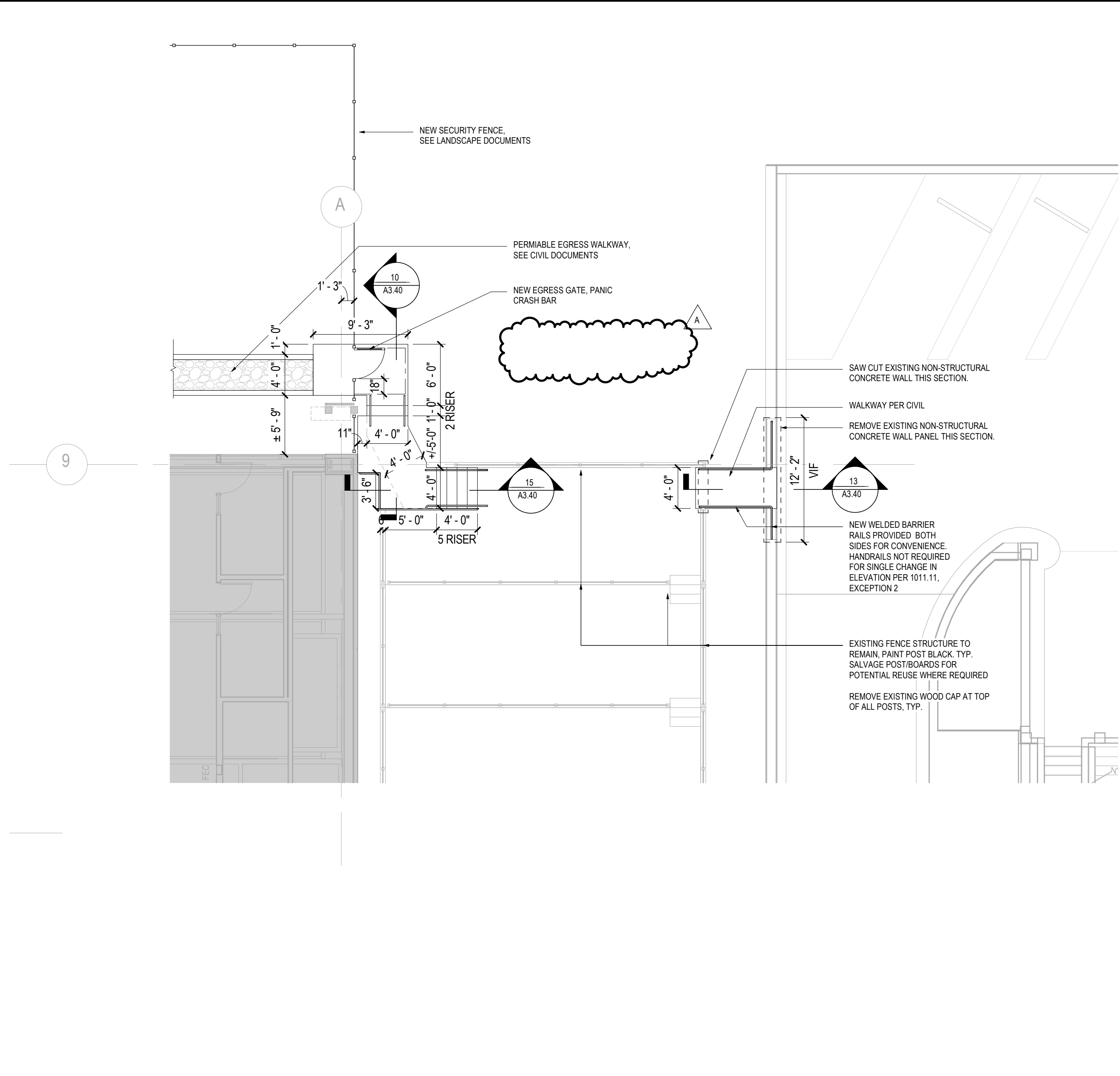
05 NEW GUARDRAIL



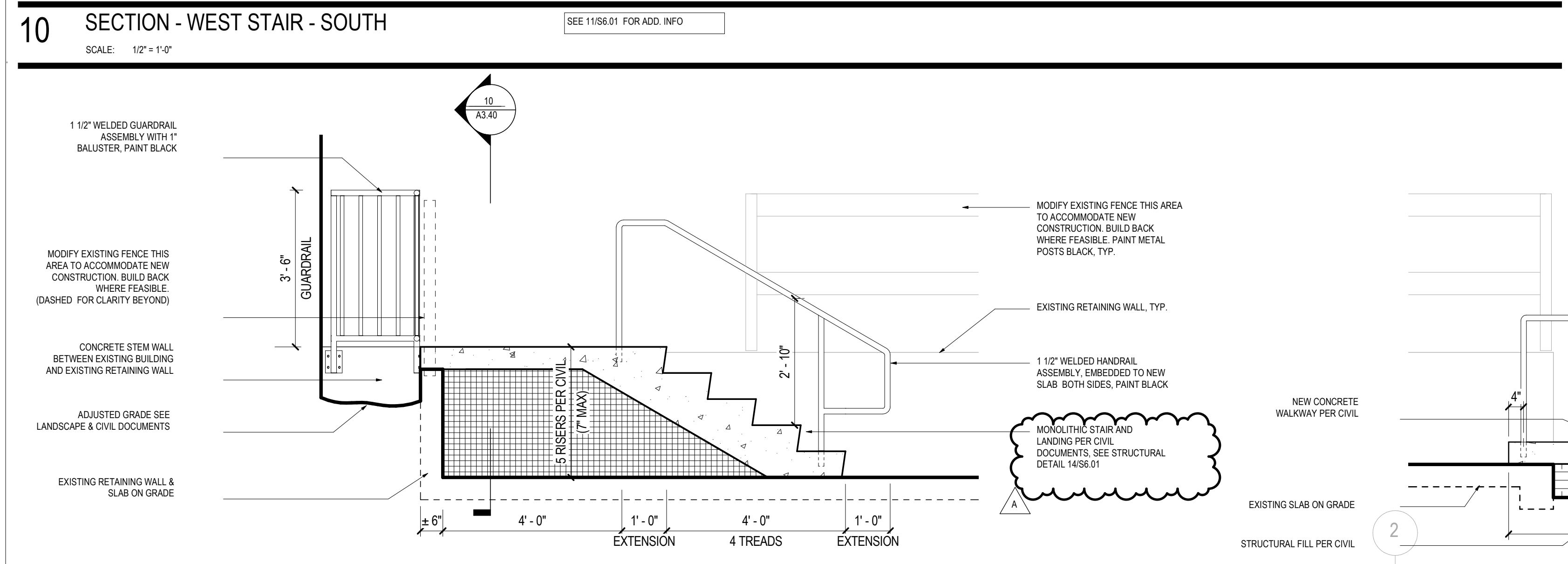
04 SECTION - STAIR PLATFORM



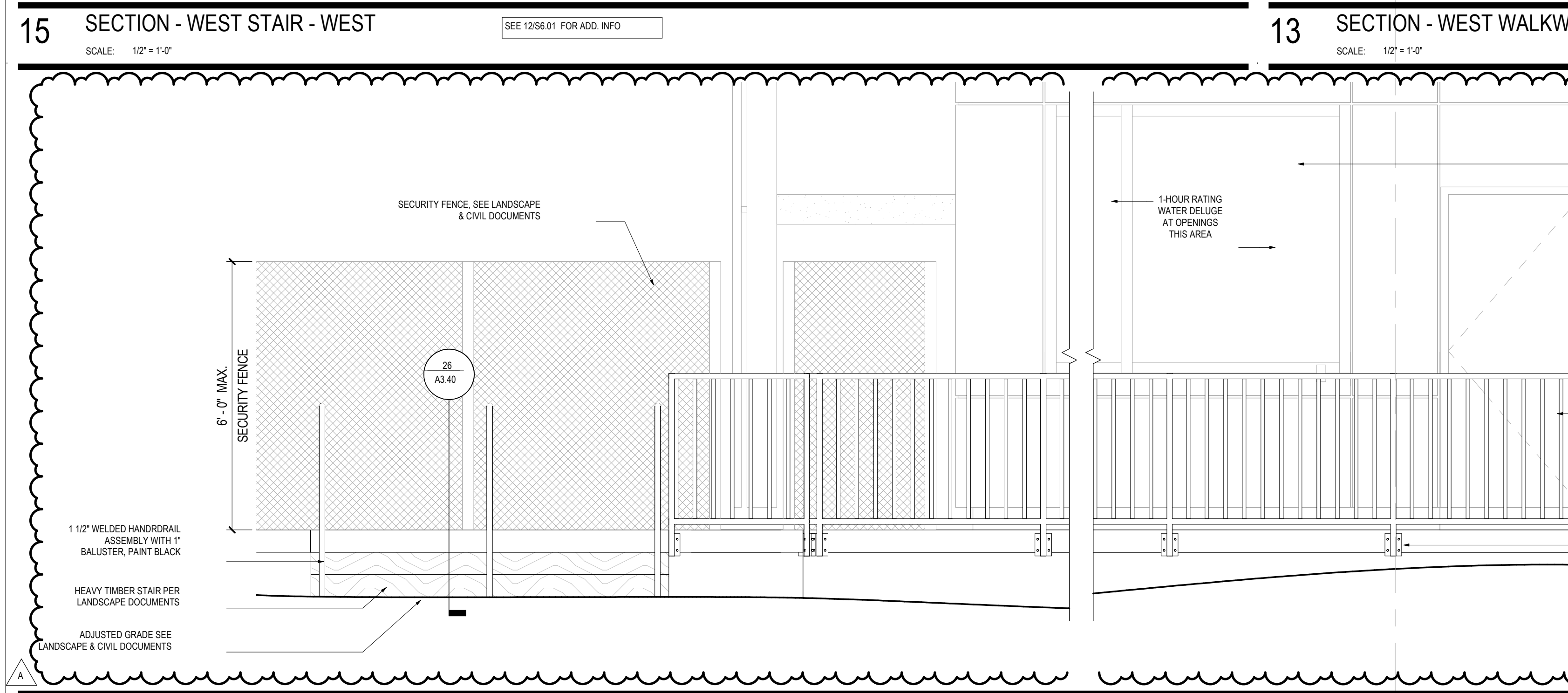
08 CONSTRUCTION PLAN - WEST EGRESS



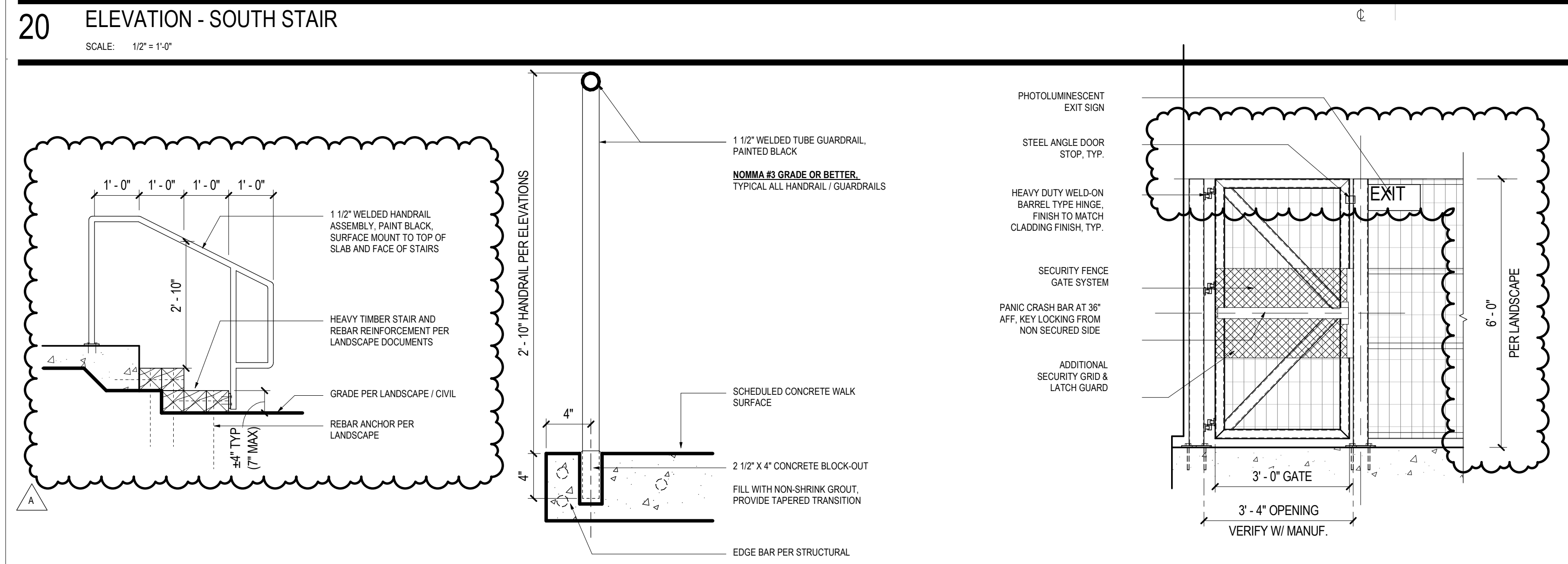
07 CONSTRUCTION PLAN - WEST EGRESS AT PARKING



13 SECTION - WEST WALKWAY - WEST



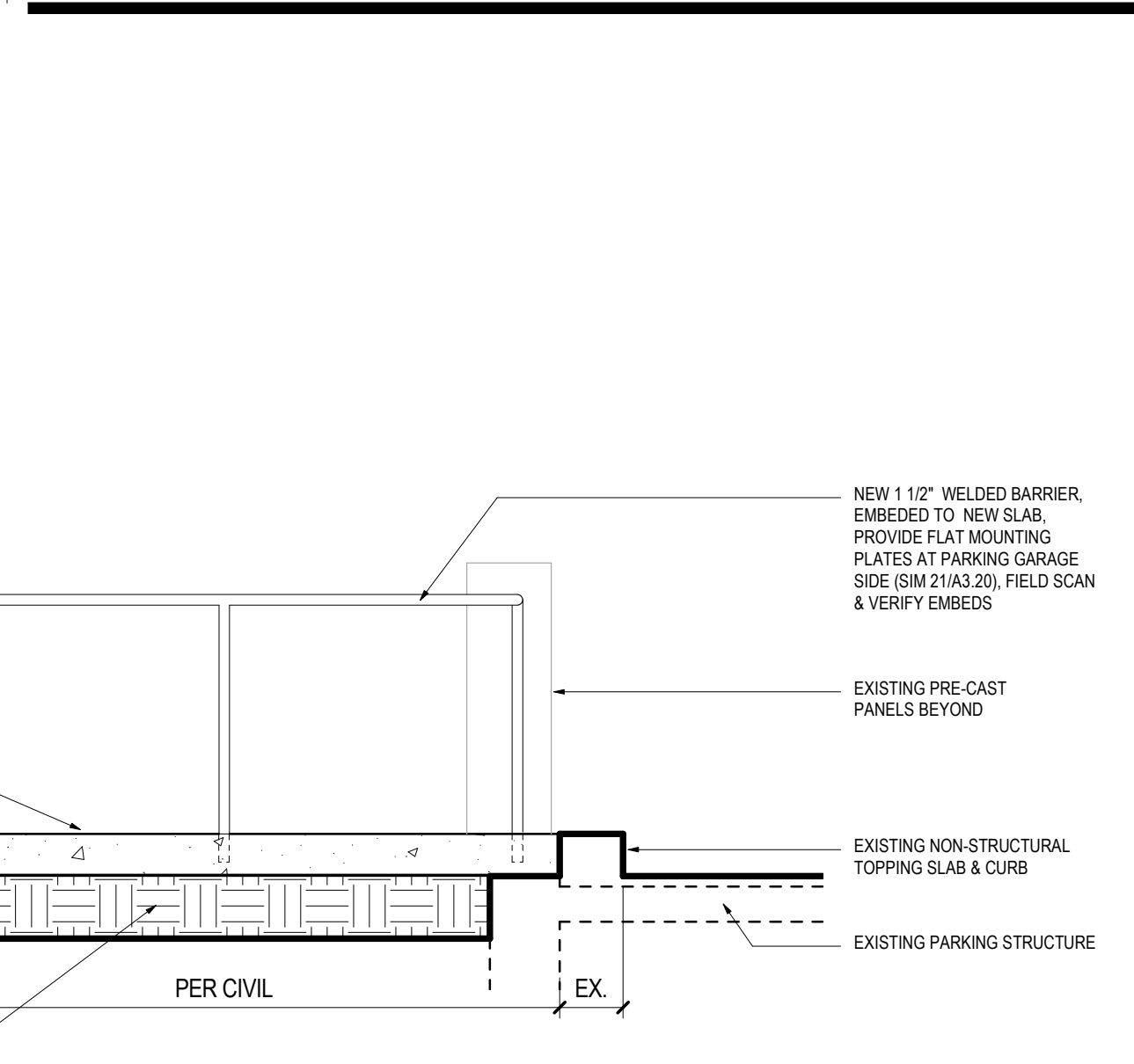
15 SECTION - WEST STAIR - WEST



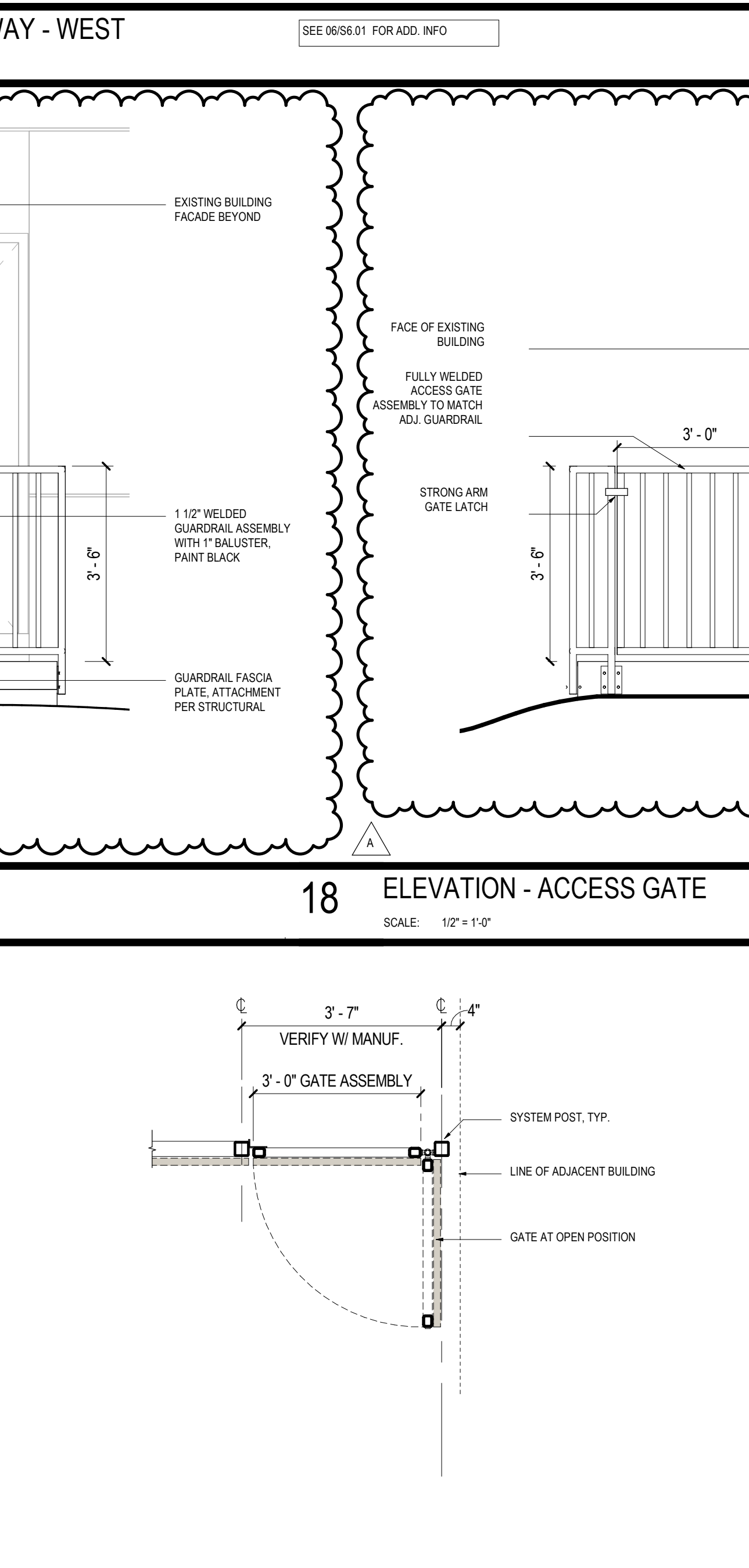
20 ELEVATION - SOUTH STAIR



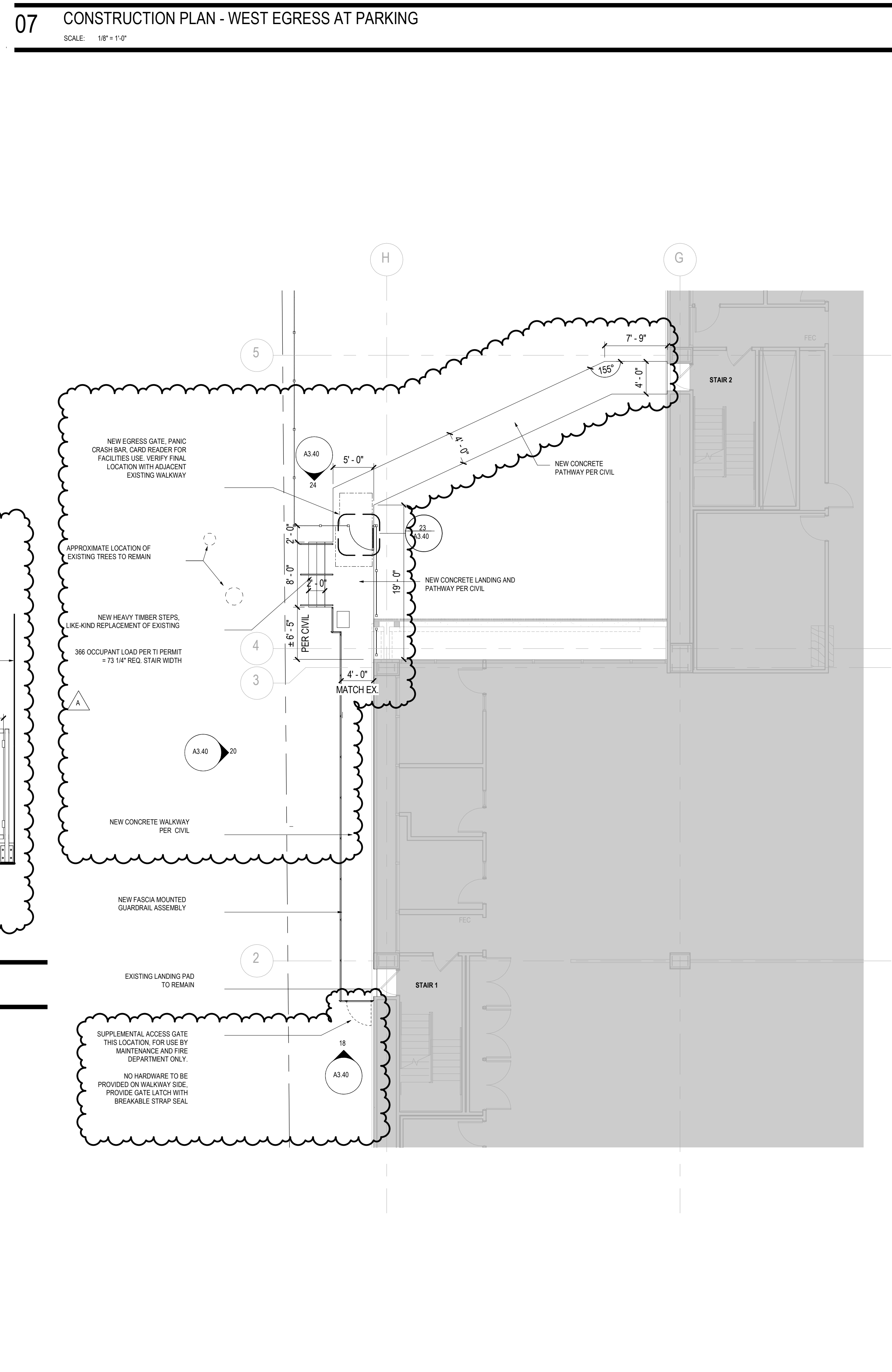
26 SECTION - SOUTH STAIR



18 ELEVATION - ACCESS GATE



24 ELEVATION - SECURITY GATE

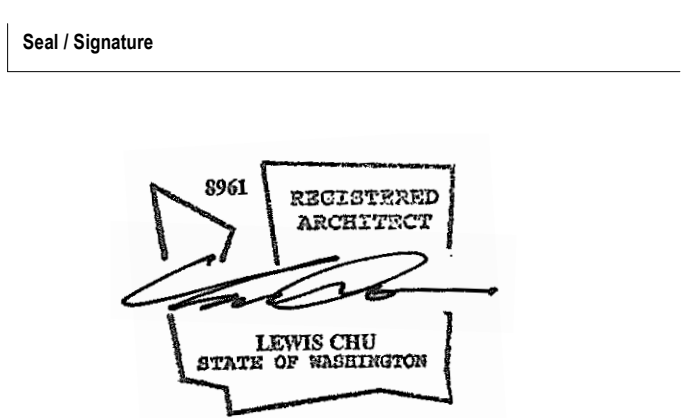


22 CONSTRUCTION PLAN - SOUTH EGRESS

GENERAL NOTES

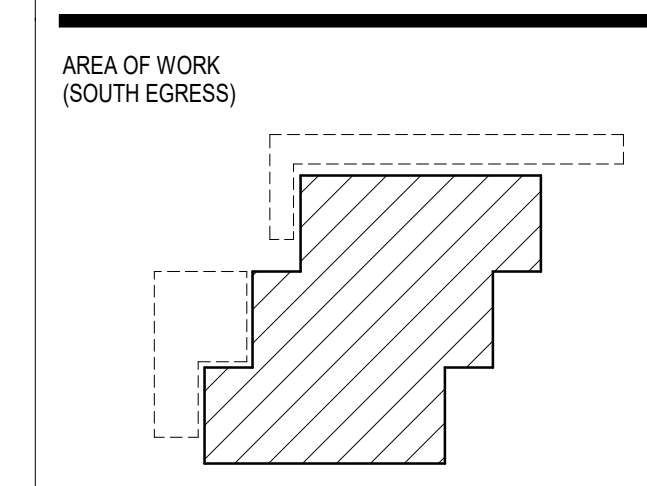
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Table with 2 columns: Date, Description. Includes entries for 05/10/2023 ISSUE CD 90%, 05/19/2023 ISSUE FOR PERMIT, and 10/06/2023 PLAN REVIEW CORRECTIONS.

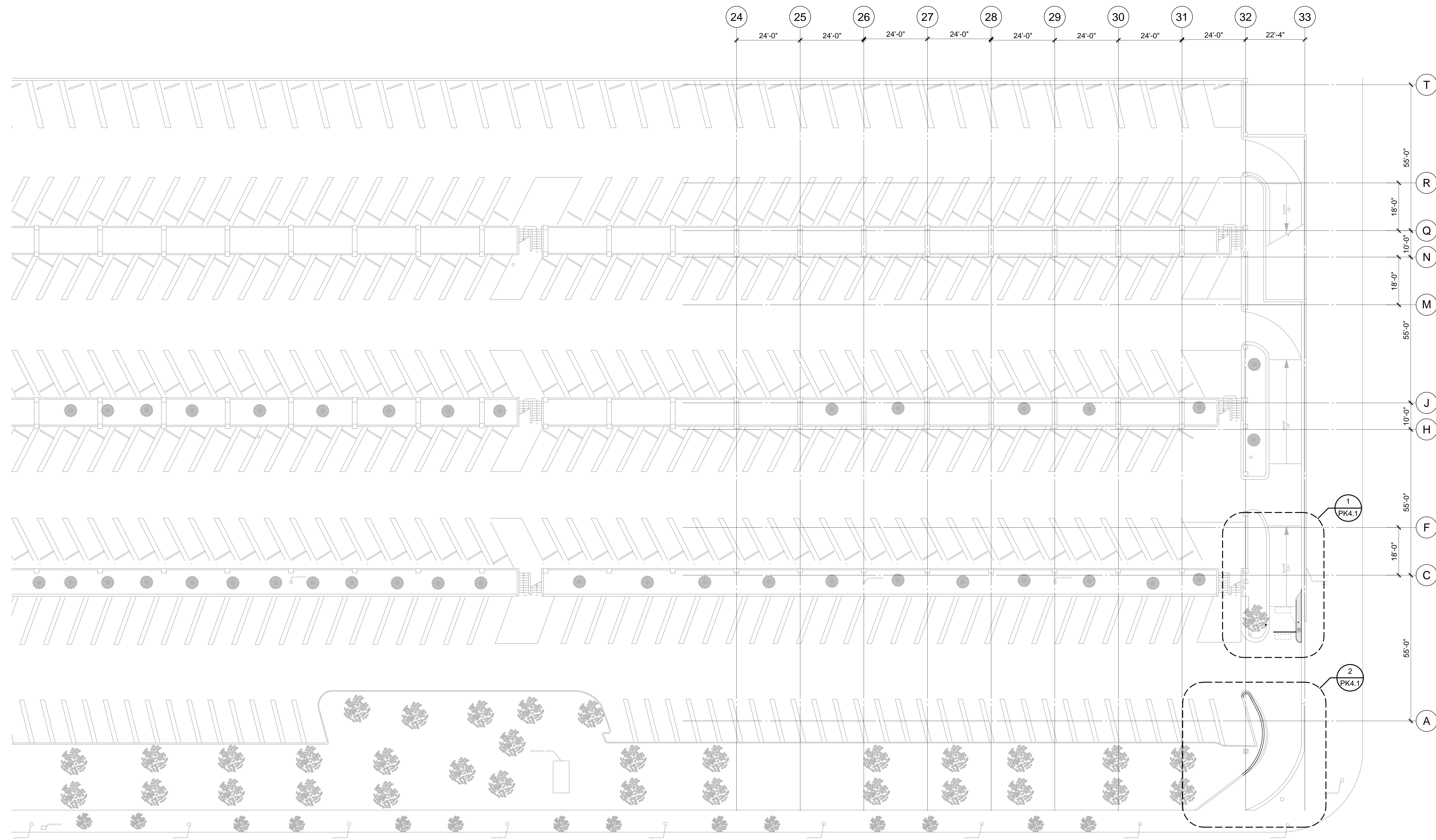


Project Name: Riot Games Seattle - Exterior Upgrades
Project Number: 05.3853.000
Description: ENLARGED PLAN AND ELEVATIONS - SOUTH EGRESS

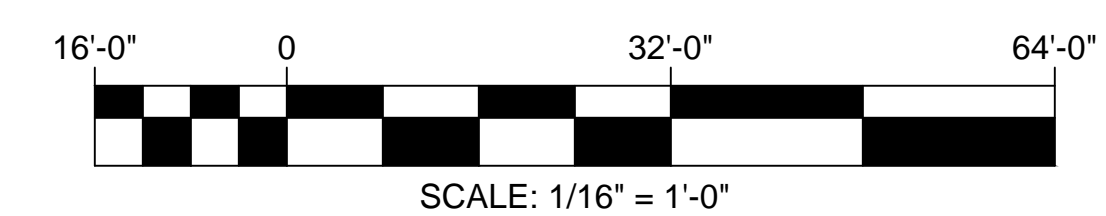
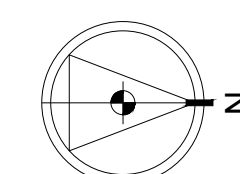
KEY PLAN



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LOWER LEVEL PARKING PLAN
 1/16" = 1'-0"



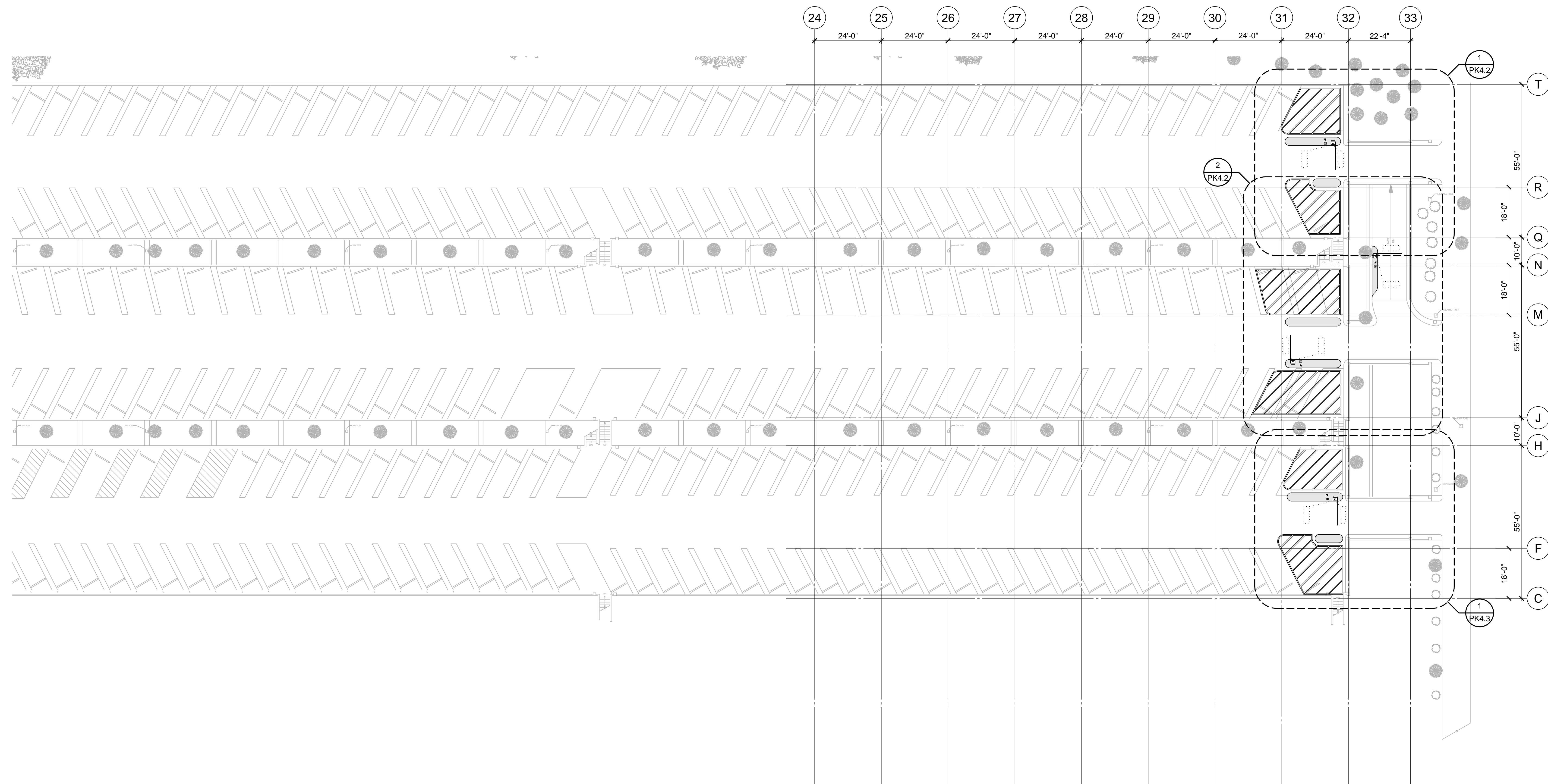
Date	Description
05/19/2023	ISSUE FOR PERMIT

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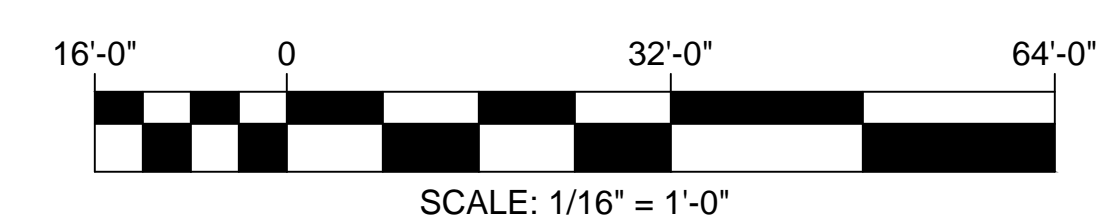
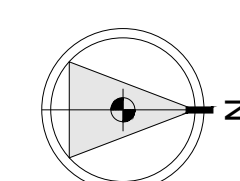
Project Name
Riot Games Seattle - Exterior Upgrades
 Project Number
05.3853.000
 Description
LOWER LEVEL PARKING PLAN

Scale

PK2.1



UPPER LEVEL PARKING PLAN
 1/16" = 1'-0"



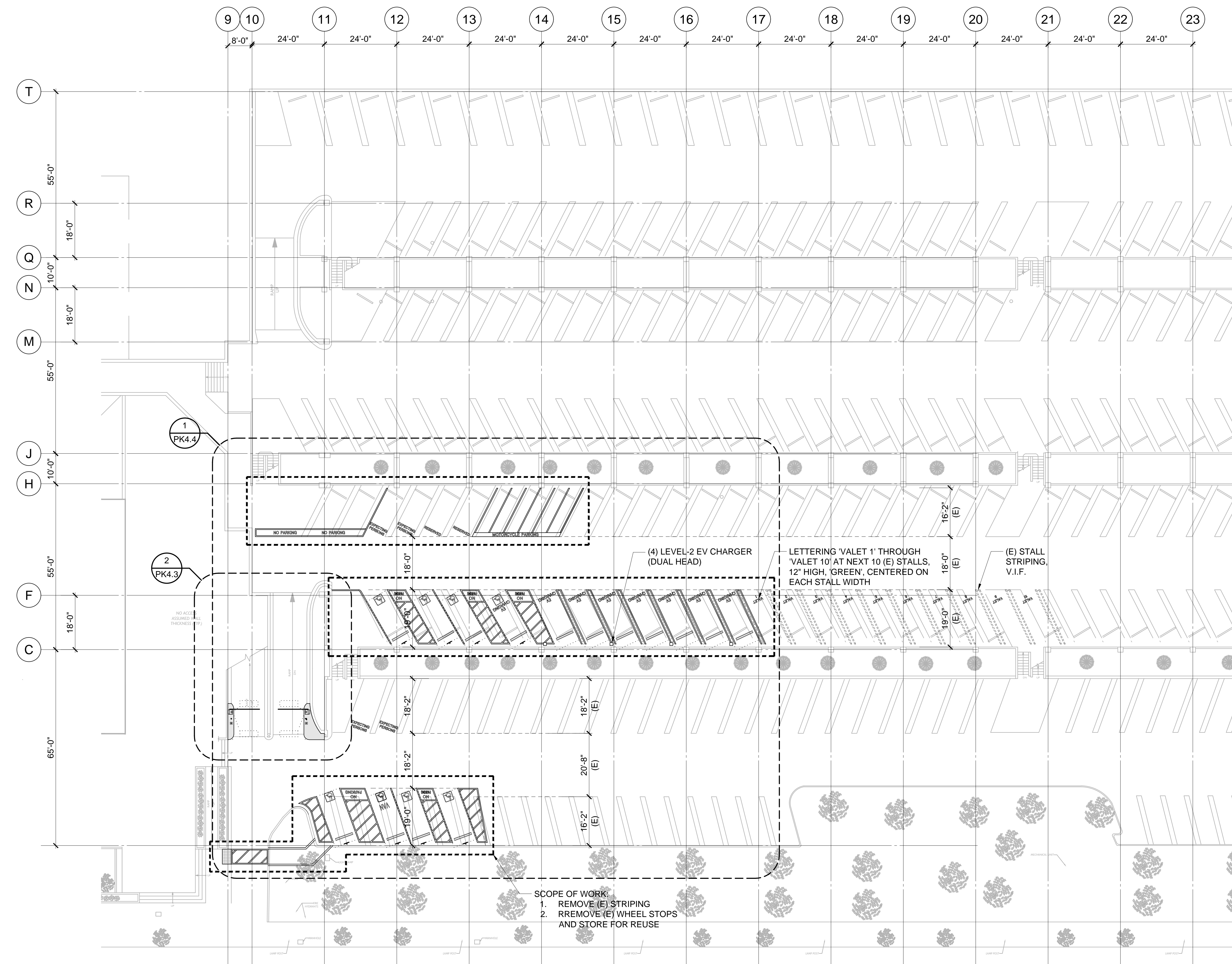
Date	Description
05/19/2023	ISSUE FOR PERMIT

Seal / Signature

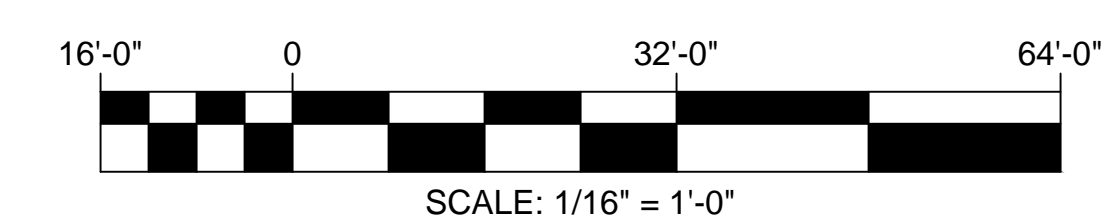
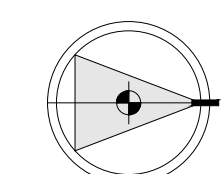
Project Name
 Riot Games Seattle - Exterior
 Upgrades
 Project Number
 05.3853.000
 Description
 UPPER LEVEL PARKING PLAN

Scale

PK2.2



LOWER LEVEL PARKING PLAN
 1/16" = 1'-0"



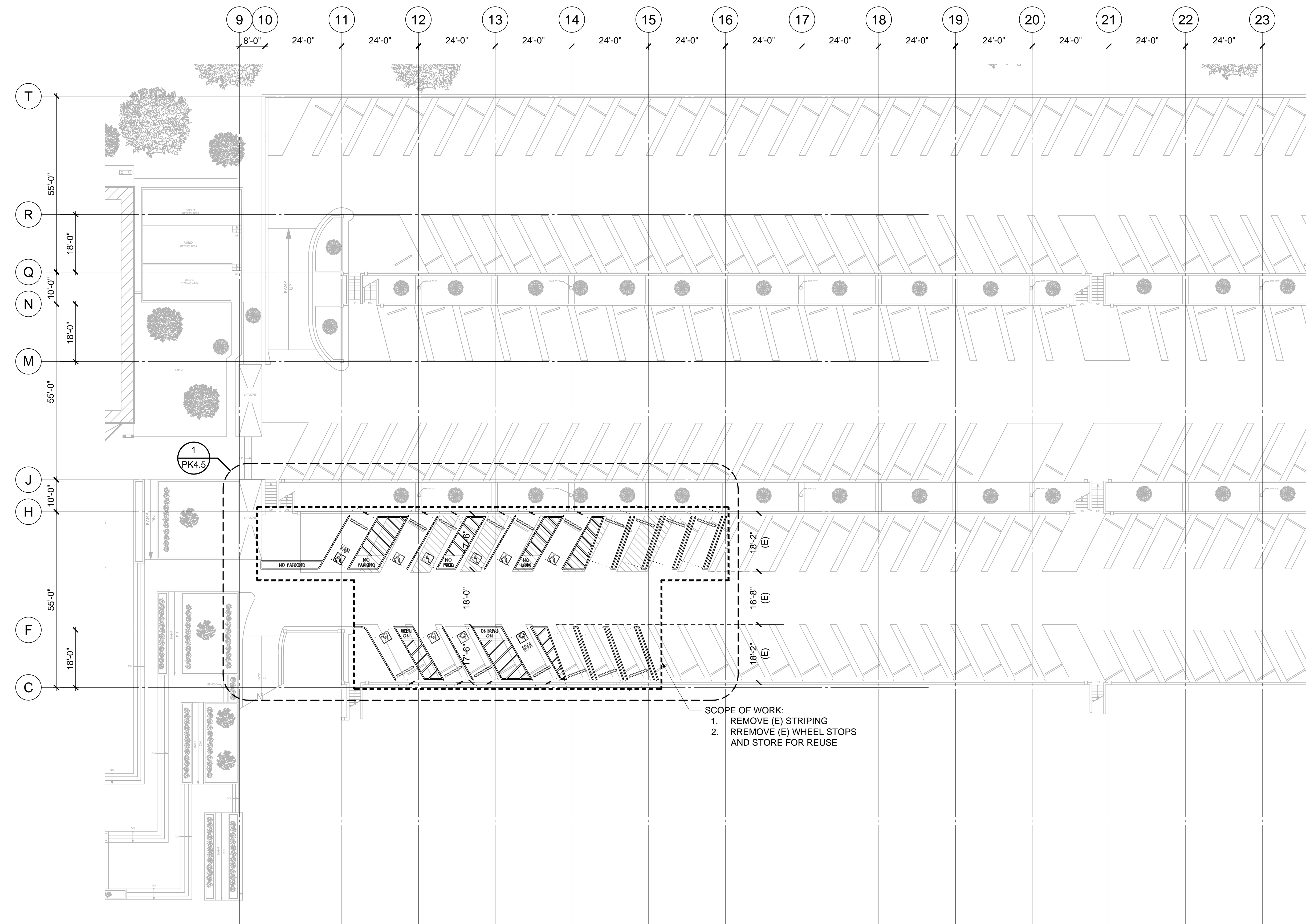
Date	Description
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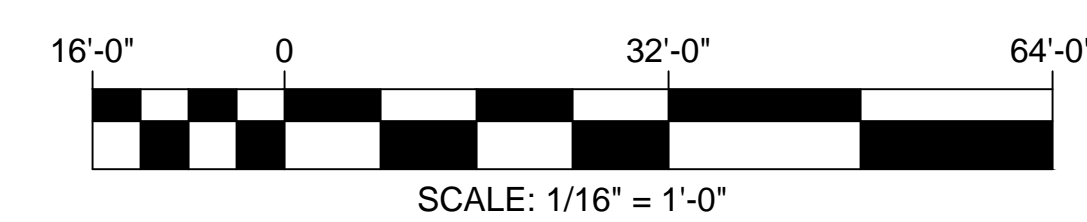
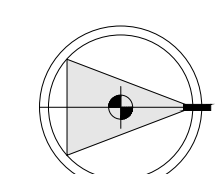
Project Name
Riot Games Seattle - Exterior Upgrades
 Project Number
05.3853.000
 Description
LOWER LEVEL PARKING PLAN

Scale

PK2.3



UPPER LEVEL PARKING PLAN
 1/16" = 1'-0"



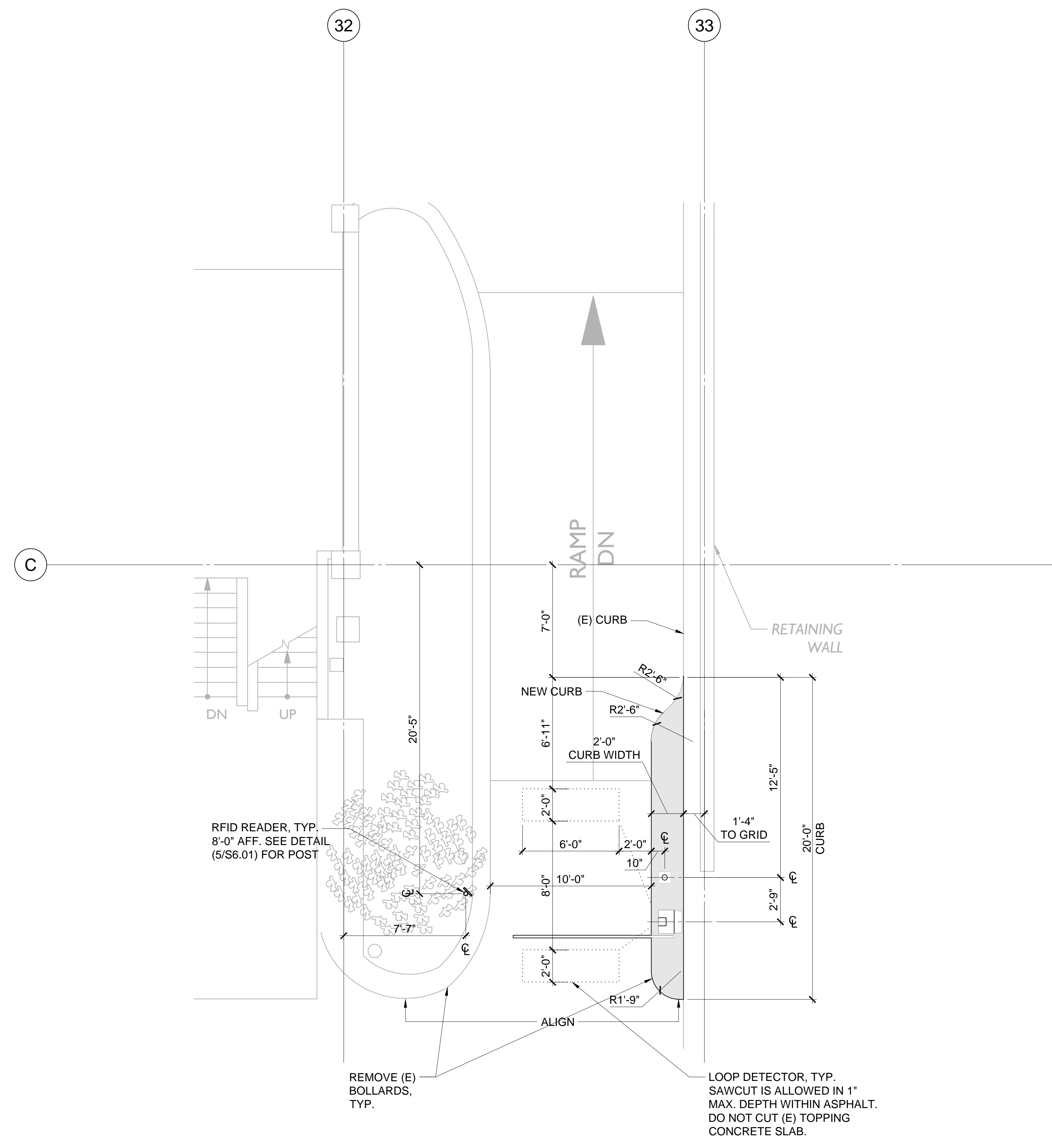
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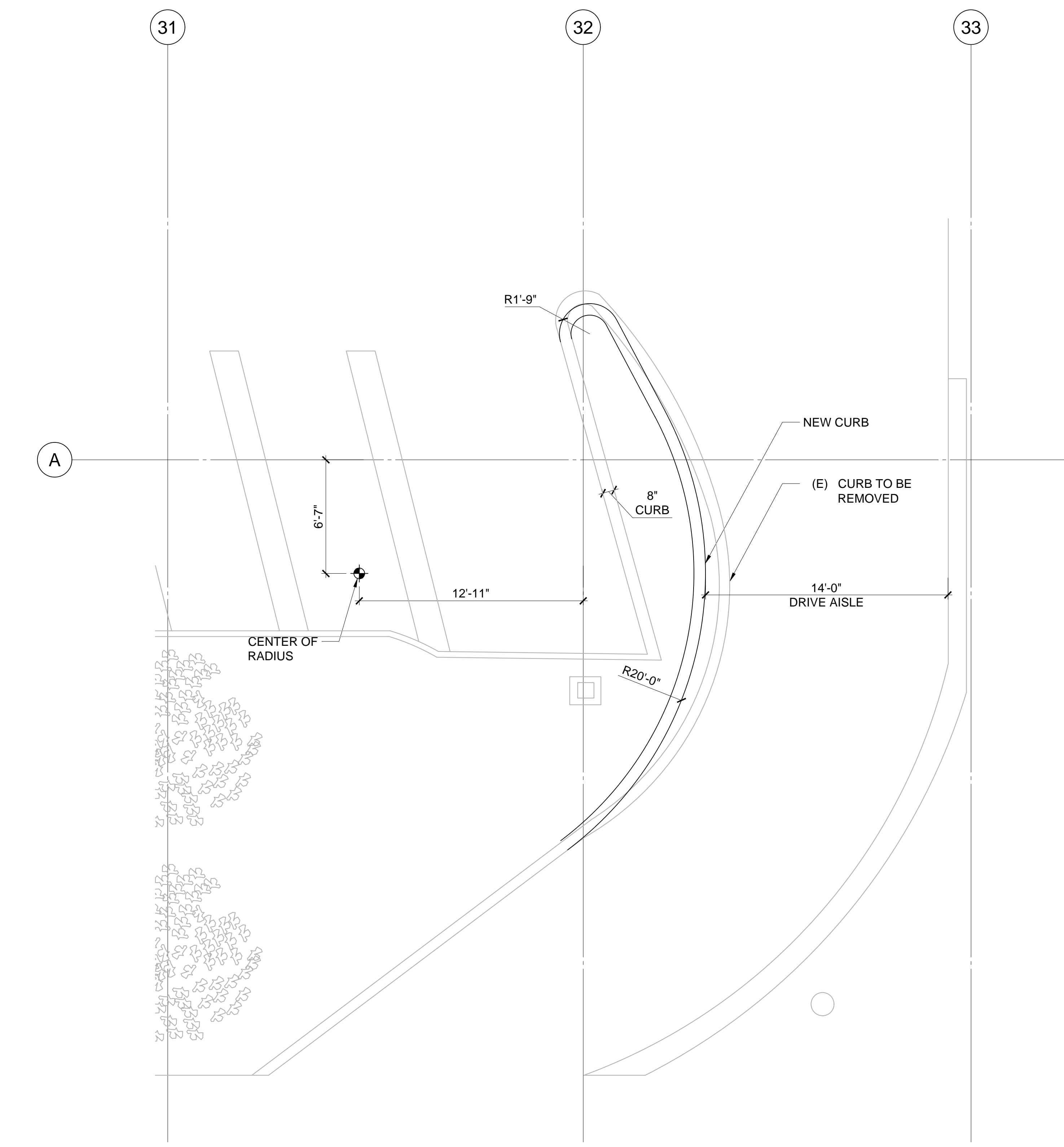
Project Name
Riot Games Seattle - Exterior Upgrades
 Project Number
05.3853.000
 Description
UPPER LEVEL PARKING PLAN

Scale

PK2.4



UPPER LEVEL GATE ARM
1
ENLARGED PLAN
PK4.1 1/4" = 1'-0"



UPPER LEVEL EXIT
2
ENLARGED PLAN
PK4.1 1/4" = 1'-0"

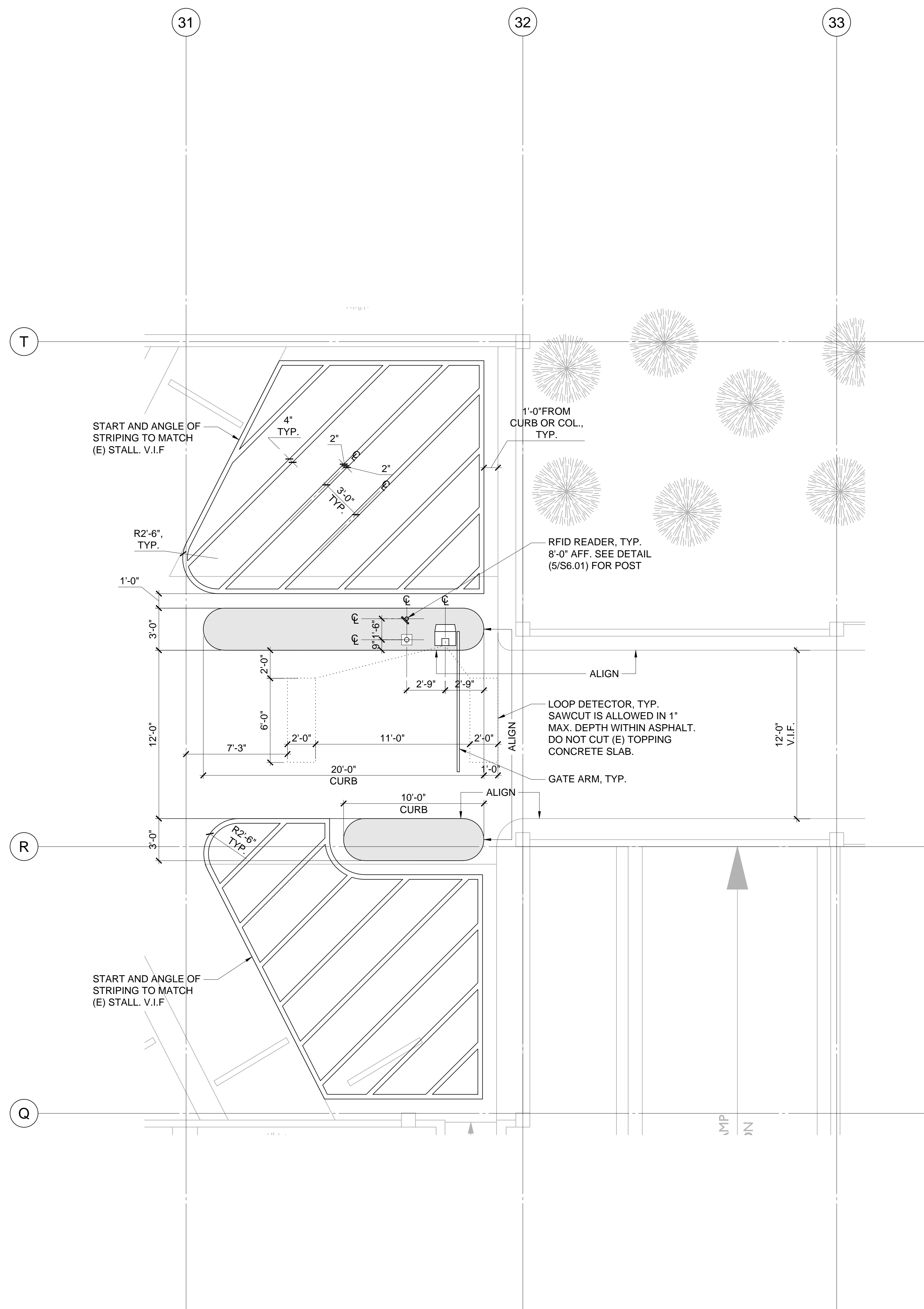
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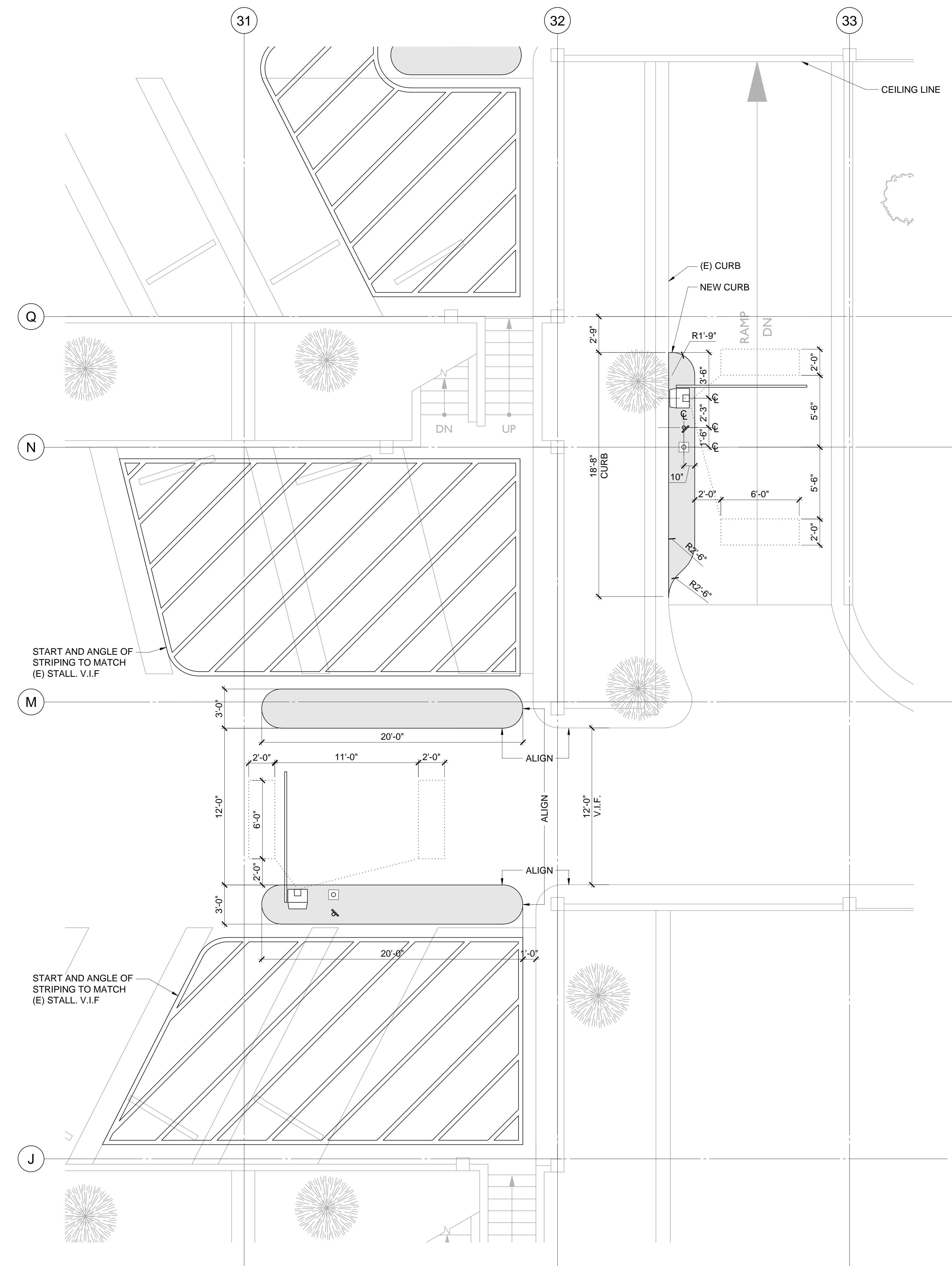
Project Name
Riot Games Seattle - Exterior Upgrades
Project Number
05.3853.000
Description
ENLARGED PARKING PLAN

Scale

PK4.1



1
 PK4.2
 UPPER LEVEL GATE ARM #1
 ENLARGED PLAN
 1/4" = 1'-0"



2
 PK4.2
 UPPER LEVEL GATE ARM #2 & #3
 ENLARGED PLAN
 1/4" = 1'-0"

NOTE:
 FOR BALANCE OF
 INFORMATION,
 SEE DETAIL (1/PK4.2)

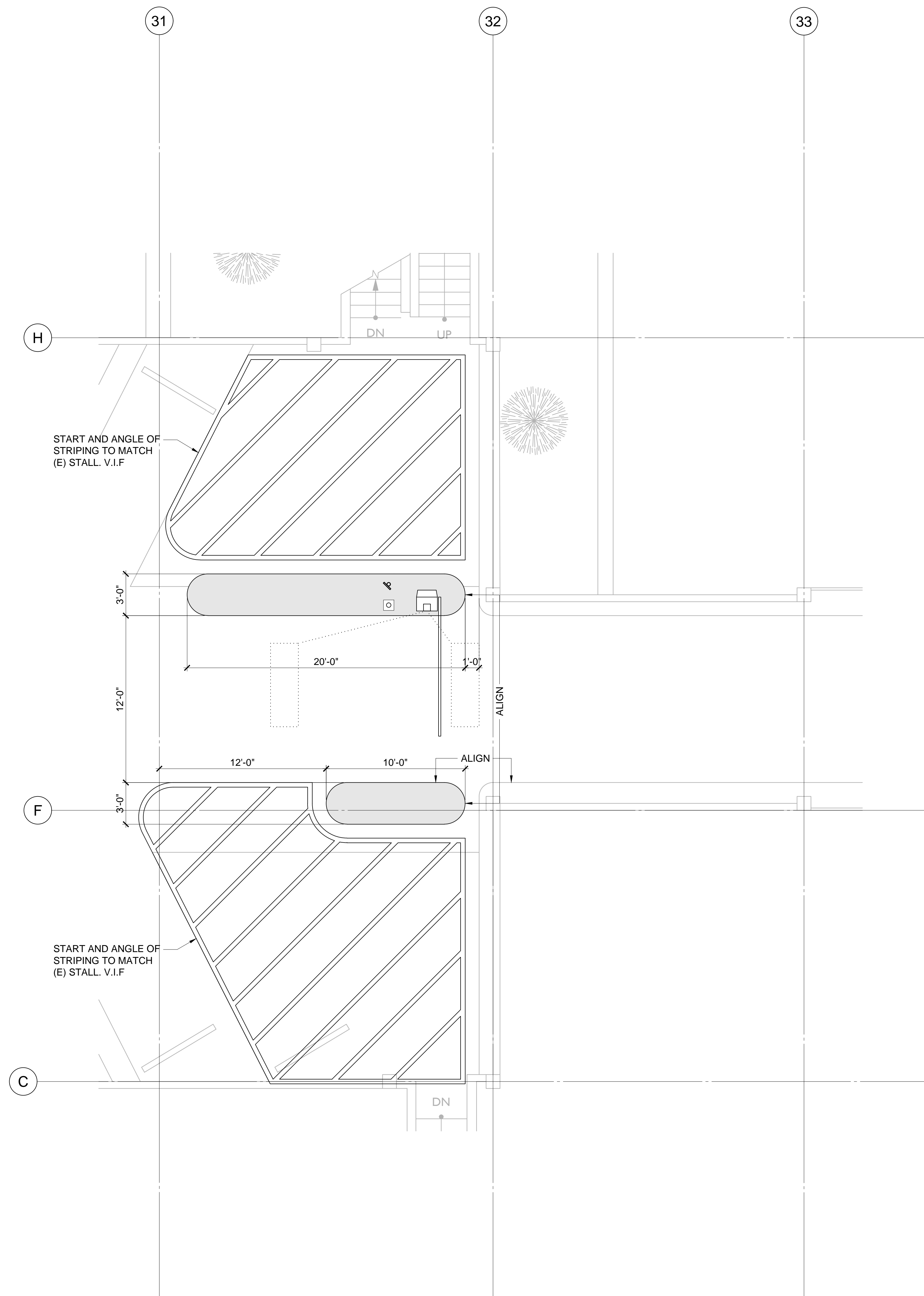
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Project Name
 Riot Games Seattle - Exterior
 Upgrades
 Project Number
 05.3853.000
 Description
 ENLARGED PARKING PLAN

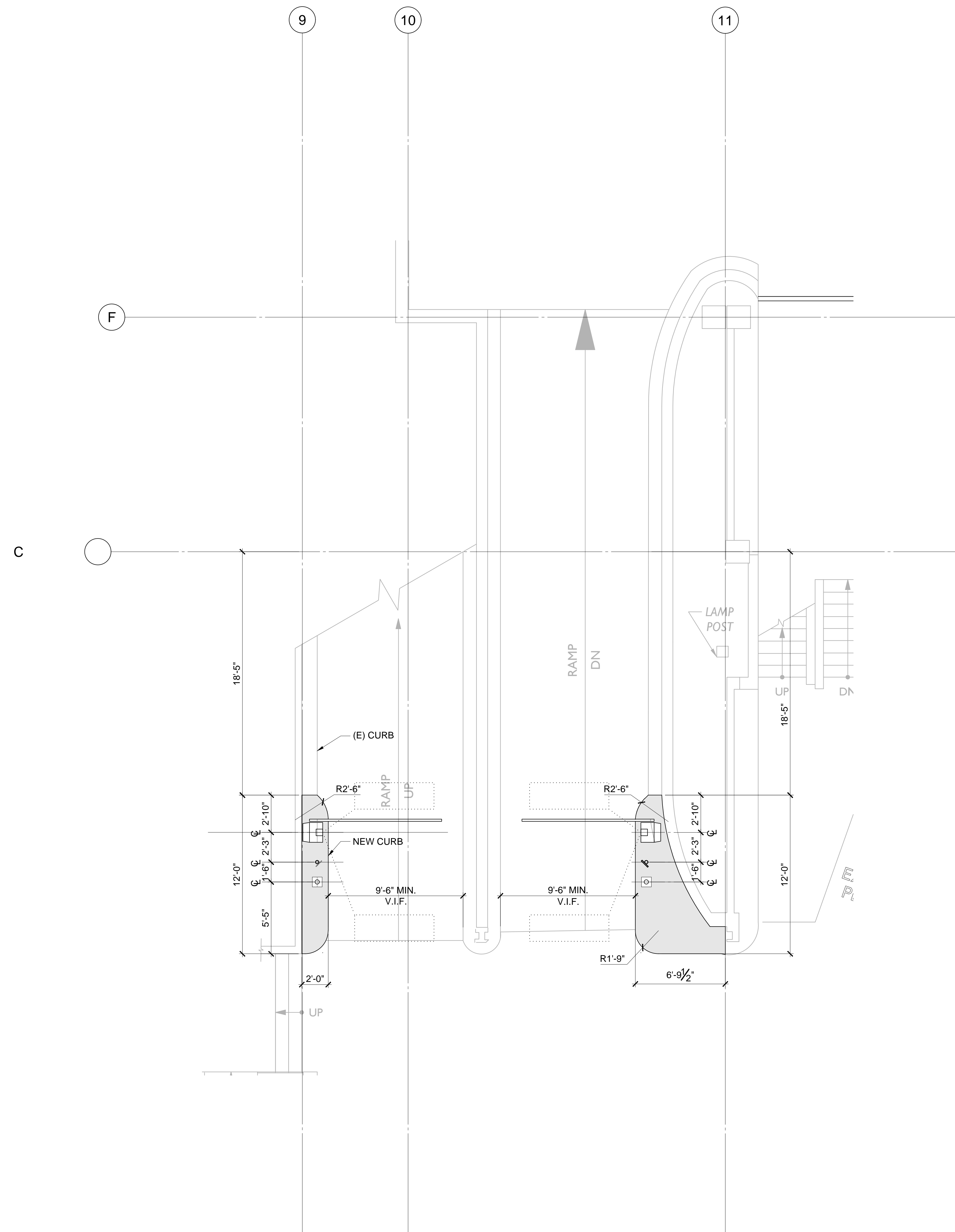
Scale

PK4.2



1
 PK4.3
 UPPER LEVEL GATE ARM #4
ENLARGED PLAN
 1/4" = 1'-0"

NOTE:
 FOR BALANCE OF
 INFORMATION,
 SEE DETAIL (1/PK4.2)



2
 PK4.3
 LOWER LEVEL SOUTH GATE ARM #1 & #2
ENLARGED PLAN
 1/4" = 1'-0"

NOTE:
 FOR BALANCE OF
 INFORMATION,
 SEE DETAIL (1/PK4.2)
 & (2/PK4.2)

Date	Description
05/19/2023	ISSUE FOR PERMIT

Seal / Signature

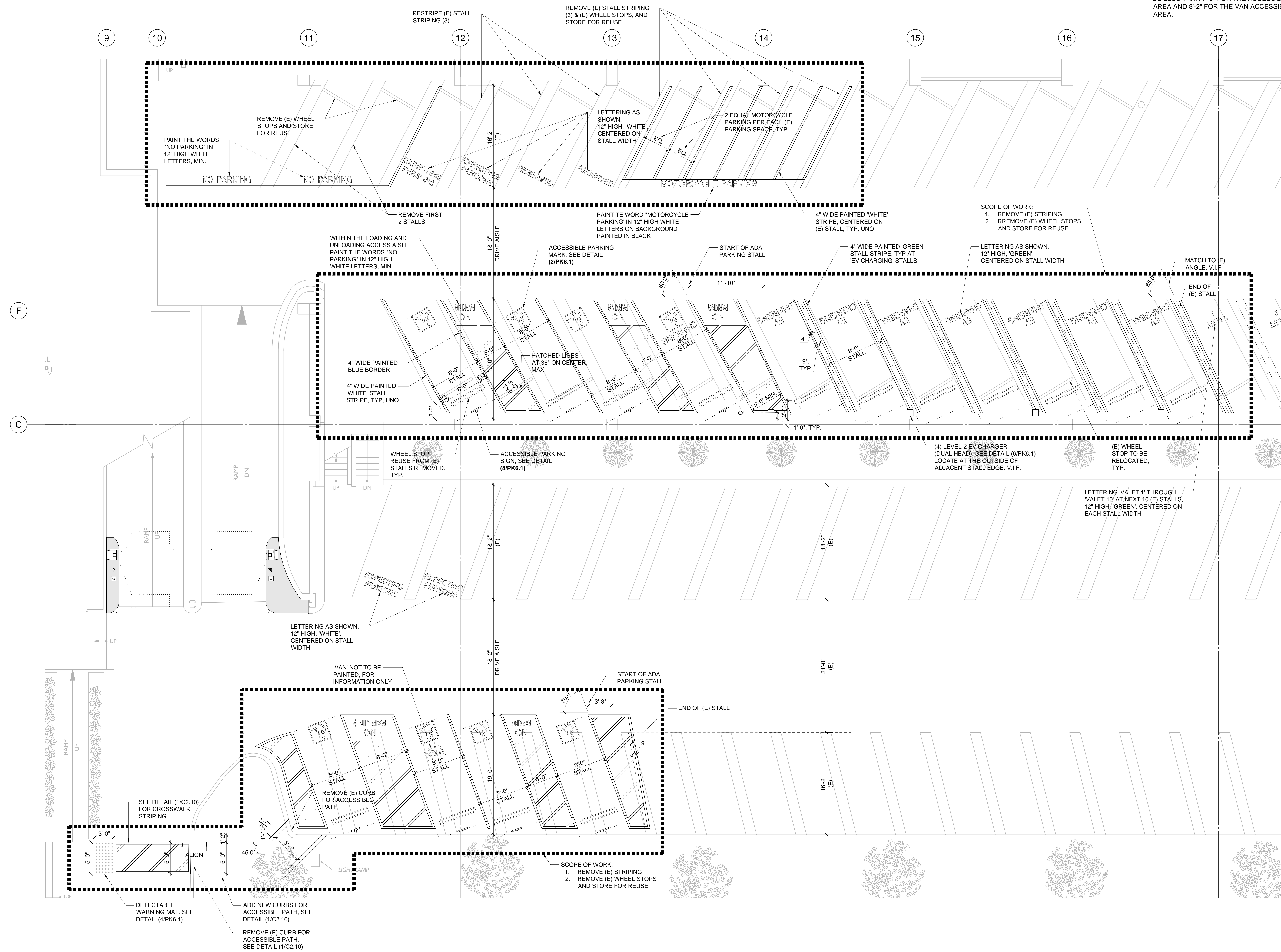
Project Name
 Riot Games Seattle - Exterior
 Upgrades
 Project Number
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 Description
 ENLARGED PARKING PLAN

Scale

PK4.3

NOTES:

1. VERIFY THAT THE SLOPE OF THE ACCESSIBLE PARKING SURFACE SHALL NOT EXCEED 2% MAX. IN ANY DIRECTION.
2. VERIFY THAT THE VERTICAL CLEARANCE SHALL NOT BE LESS THAN 7'-0" FOR THE ACCESSIBLE PARKING AREA AND 8'-2" FOR THE VAN ACCESSIBLE PARKING AREA.



1
PK4.4
ADA PARKING AT LOWER LEVEL
ENLARGED PLAN
3/16" = 1'-0"

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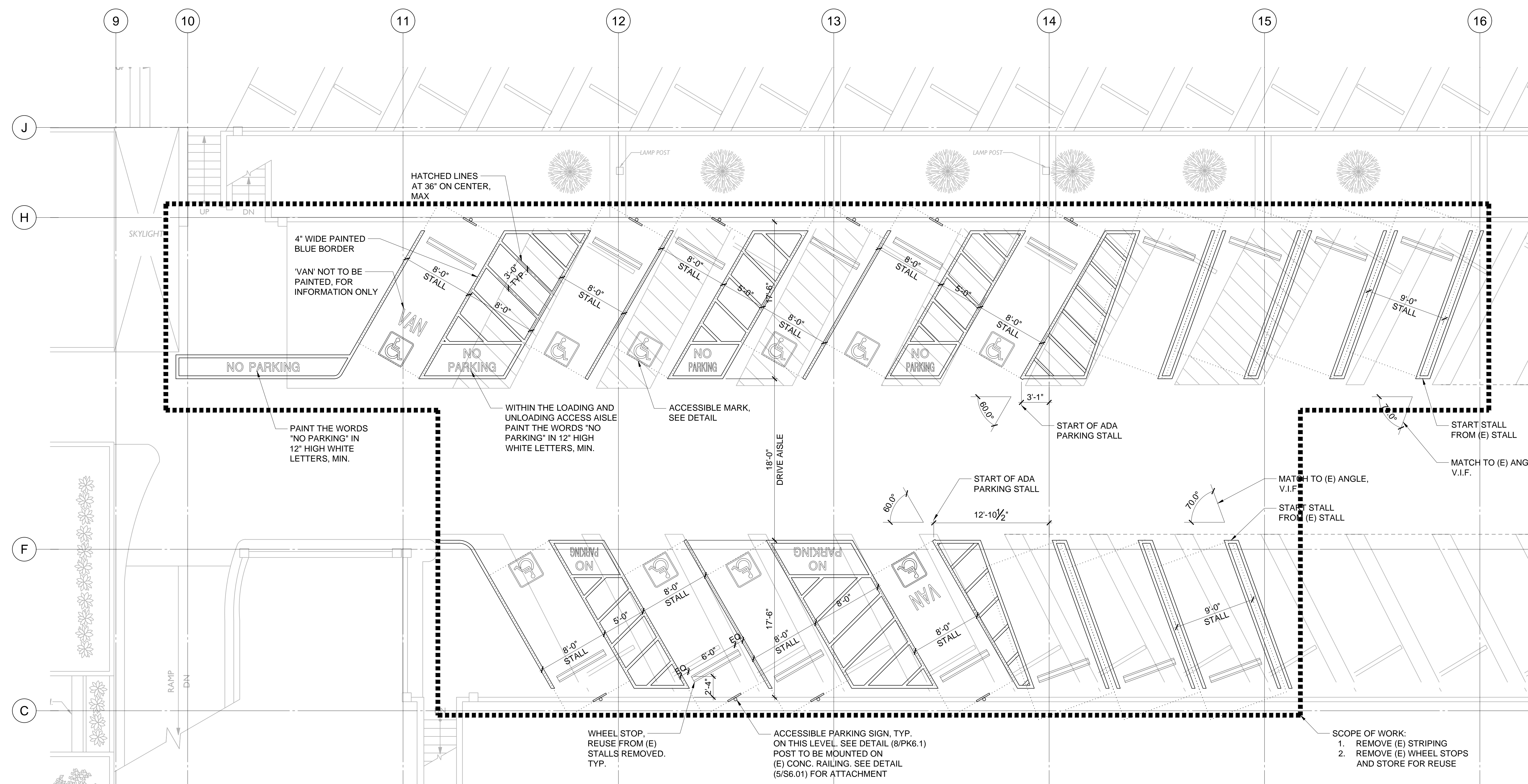
Project Name
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05.3853.000
Description
ENLARGED PARKING PLAN

Scale

PK4.4

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NOTE:
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 INFORMATION,
 SEE DETAIL (1/PK4.4)

1
 PK4.5
 ADA PARKING AT UPPER LEVEL
ENLARGED PLAN
 3/16" = 1'-0"

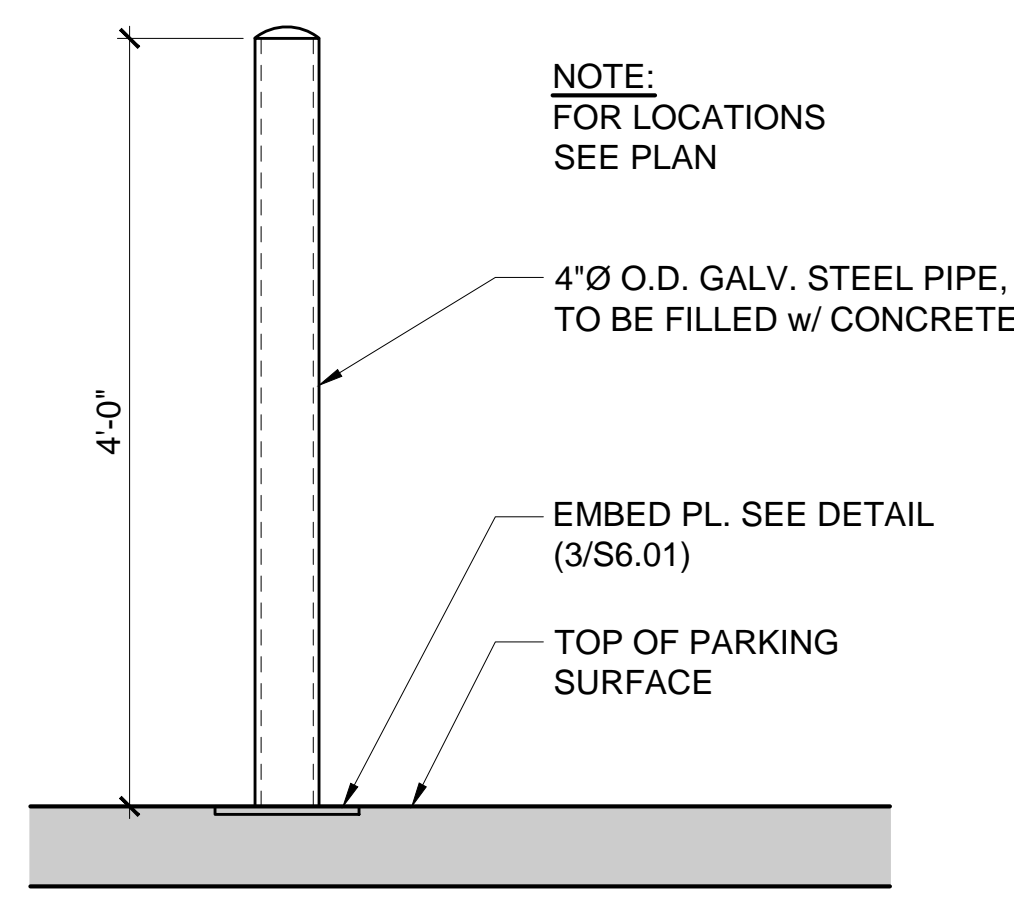
Date	Description
05/19/2023	ISSUE FOR PERMIT

Seal / Signature

Project Name	Riot Games Seattle - Exterior Upgrades
Project Number	05.3853.000
Description	ENLARGED PARKING PLAN

Scale

PK4.5



1
AT S.O.G. AND ELEVATED SLABS
STEEL BOLLARD
1' = 1'-0"

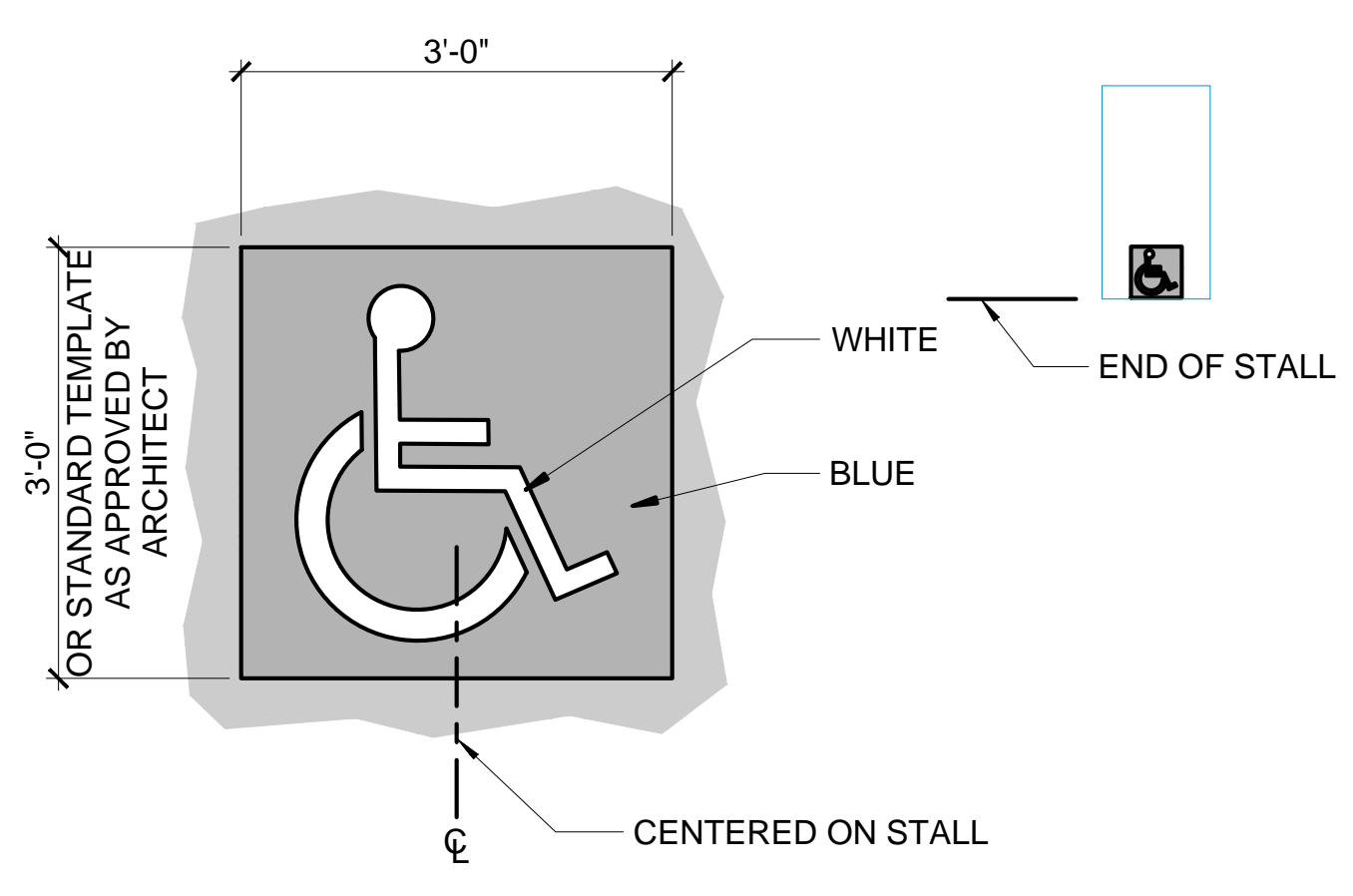
NOTE:
FOR LOCATIONS
SEE PLAN

4" O.D. GALV. STEEL PIPE,
TO BE FILLED W/ CONCRETE

EMBED PL. SEE DETAIL
(3/S6.01)

TOP OF PARKING
SURFACE

NOTE:
FOR STRUCTURAL
INFO., SEE DETAIL
(3/S6.01)



2
ACCESSIBLE MARK
3/4" = 1'-0"

3'-0"

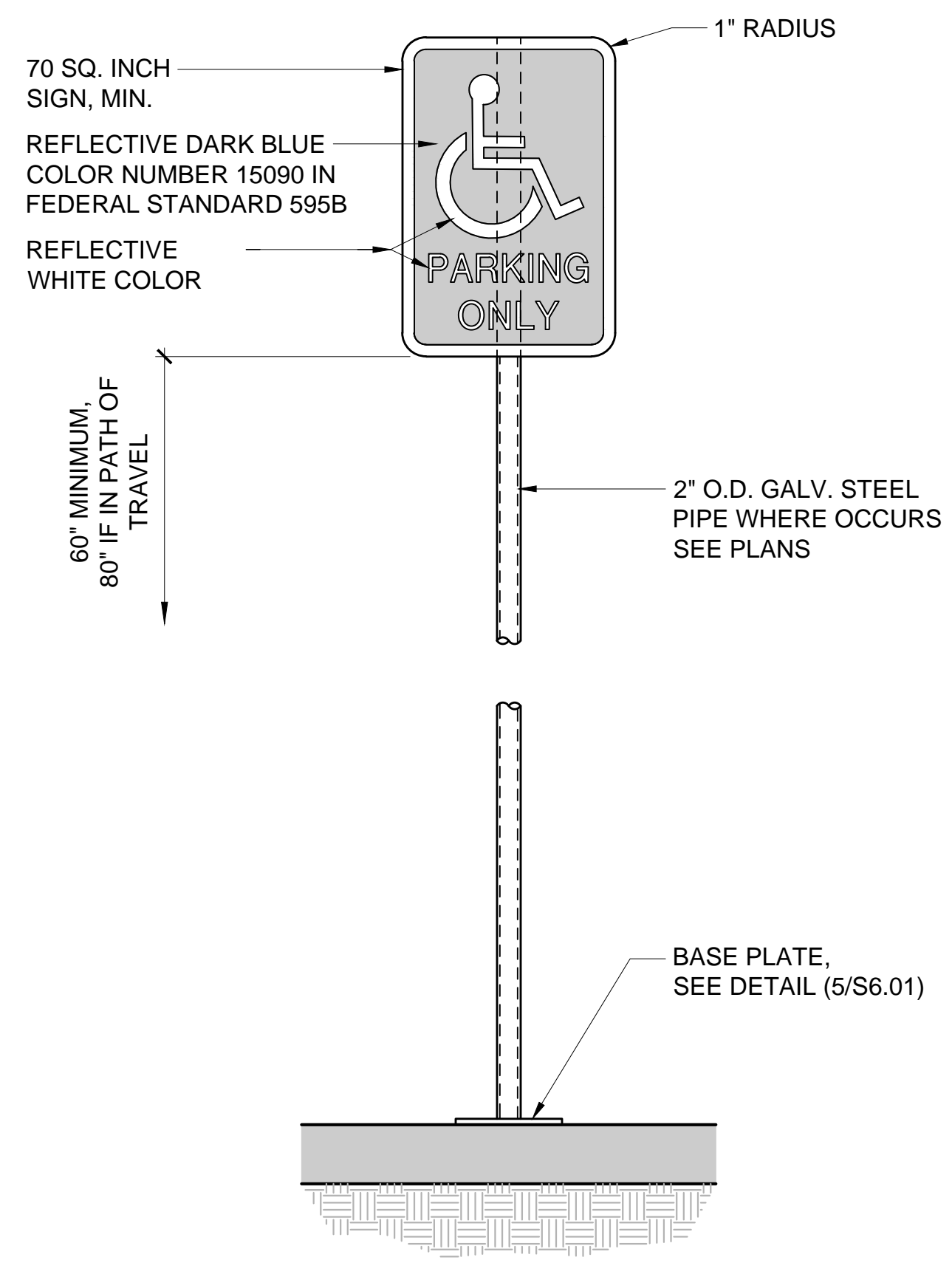
OR STANDARD TEMPLATE
AS APPROVED BY
ARCHITECT

WHITE

BLUE

END OF STALL

CENTERED ON STALL



8
ACCESSIBLE SIGN
N.T.S.

70 SQ. INCH
SIGN, MIN.

REFLECTIVE DARK BLUE
COLOR NUMBER 15090 IN
FEDERAL STANDARD 595B

REFLECTIVE
WHITE COLOR

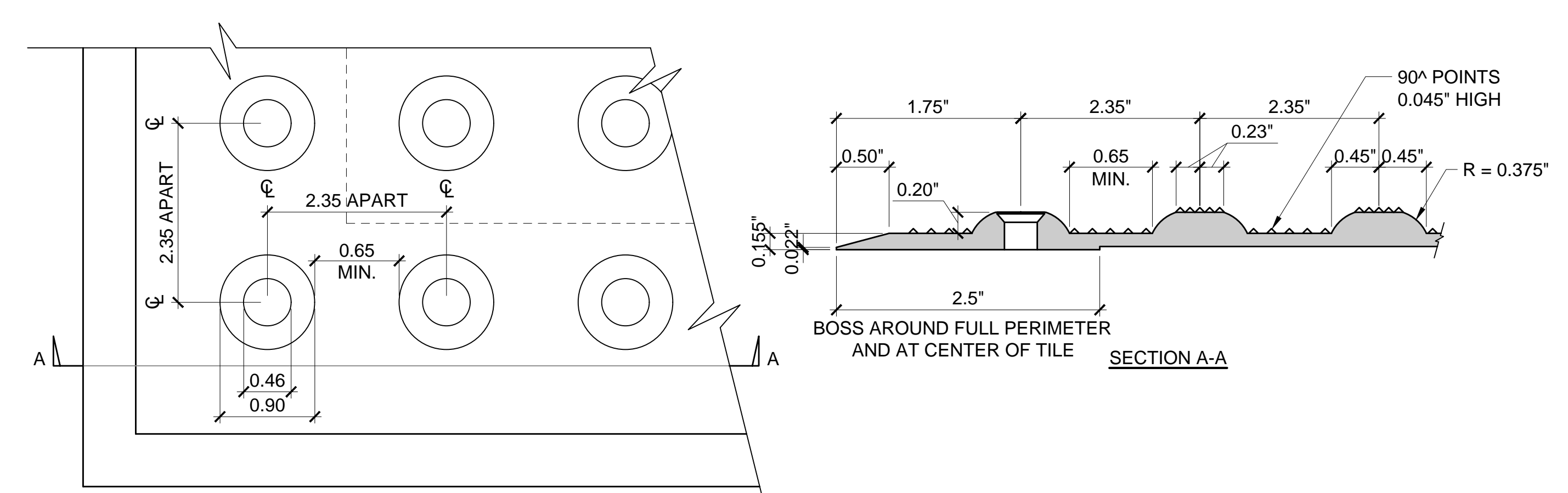
1" RADIUS

2" O.D. GALV. STEEL
PIPE WHERE OCCURS
SEE PLANS

BASE PLATE,
SEE DETAIL (5/S6.01)

NOTE:
FOR STRUCTURAL
INFO., SEE DETAIL
(5/S6.01)

60" MINIMUM,
80" IF IN PATH OF
TRAVEL



4
DETECTABLE WARNING STRIP
1" = 1"

TRUNCATED DOME/ADHESIVE

PLAN

SECTION A-A

BOSS AROUND FULL PERIMETER
AND AT CENTER OF TILE

90° POINTS
0.045" HIGH

1.75"

2.35"

2.35"

0.23"

0.45" 0.45"

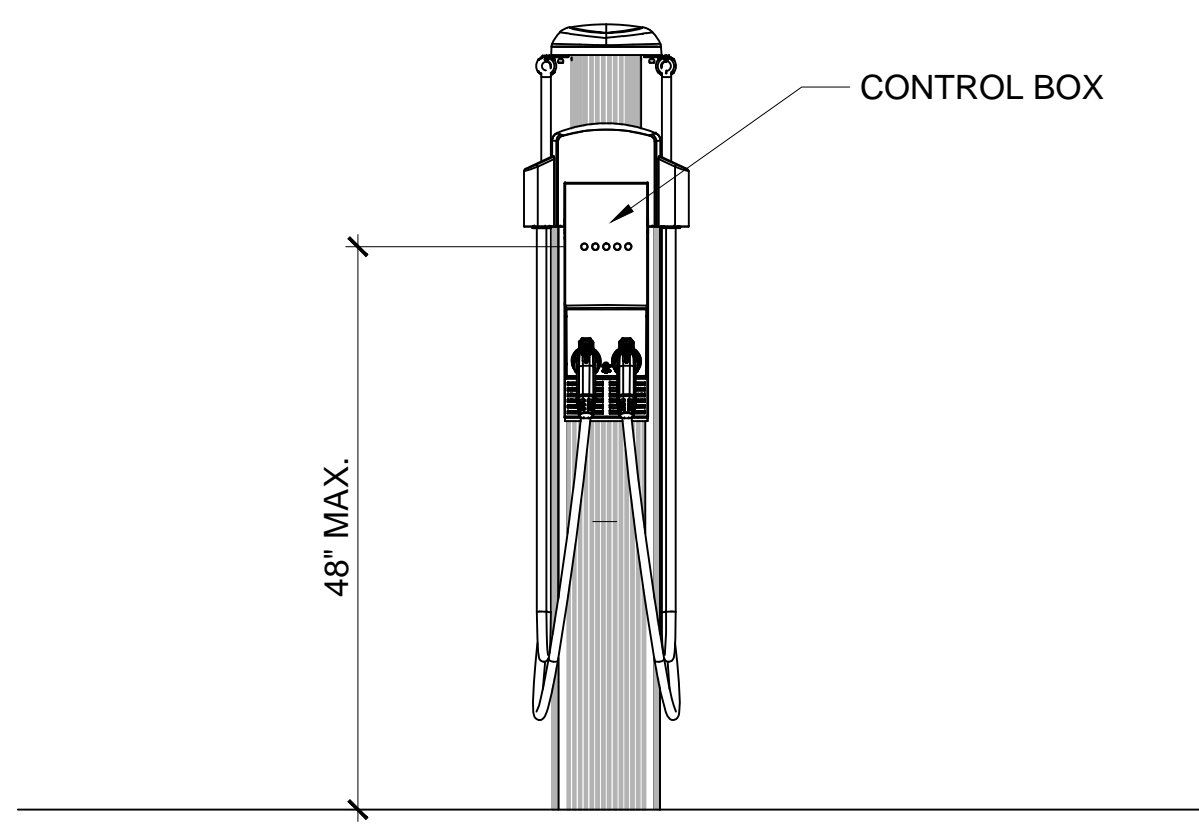
R = 0.375"

0.15"

0.20"

0.045"

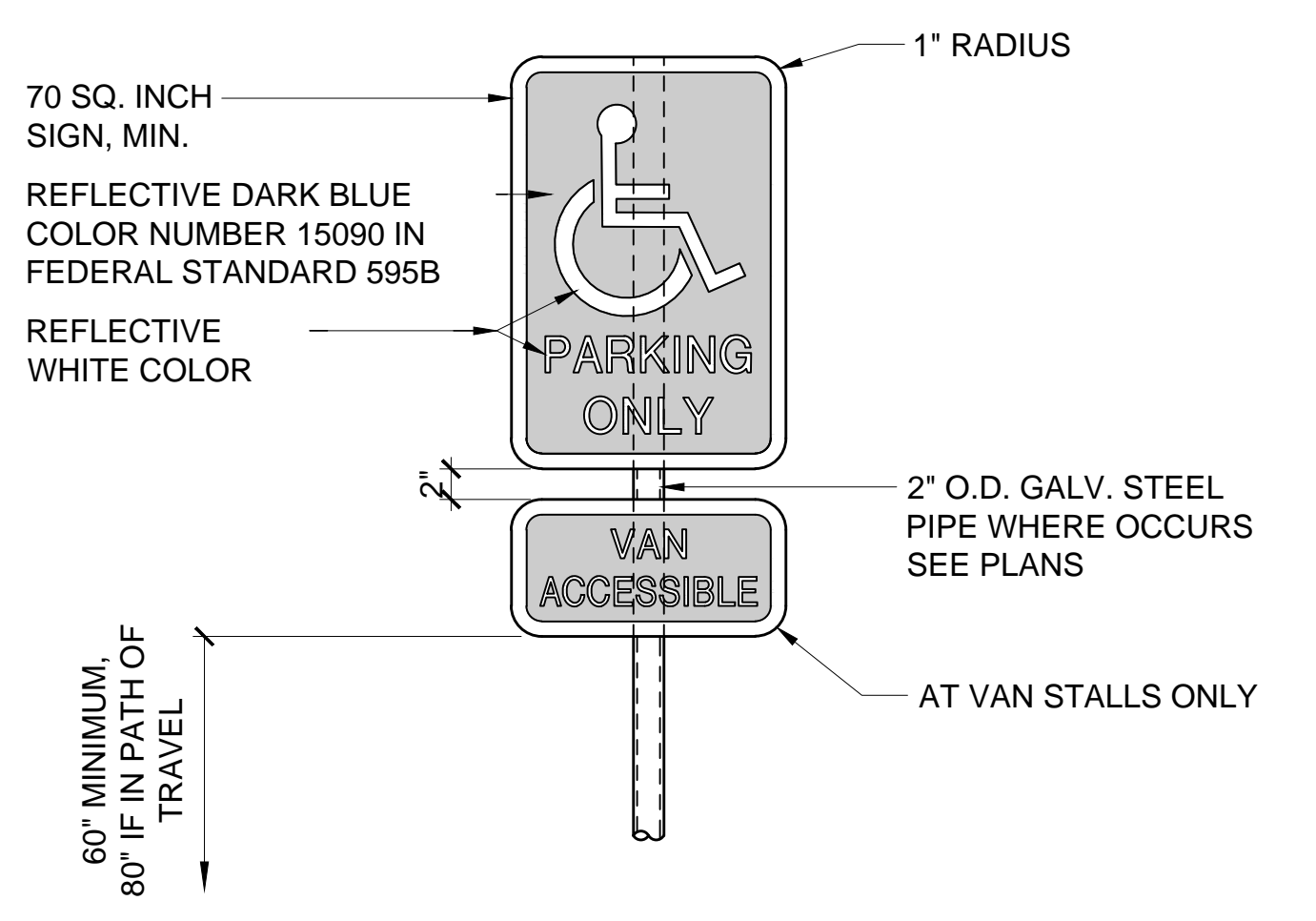
2.5"



6
EV CHARGING STATION
3/4" = 1'-0"

CONTROL BOX

48" MAX.



7
VAN ACCESSIBLE SIGN
N.T.S.

70 SQ. INCH
SIGN, MIN.

REFLECTIVE DARK BLUE
COLOR NUMBER 15090 IN
FEDERAL STANDARD 595B

REFLECTIVE
WHITE COLOR

1" RADIUS

2" O.D. GALV. STEEL
PIPE WHERE OCCURS
SEE PLANS

BASE PLATE,
SEE DETAIL (5/S6.01)

AT VAN STALLS ONLY

NOTE:
FOR BALANCE OF
INFORMATION,
SEE DETAIL (8/PK6.1)

60" MINIMUM,
80" IF IN PATH OF
TRAVEL

Date	Description
05/19/2023	ISSUE FOR PERMIT

Seal / Signature

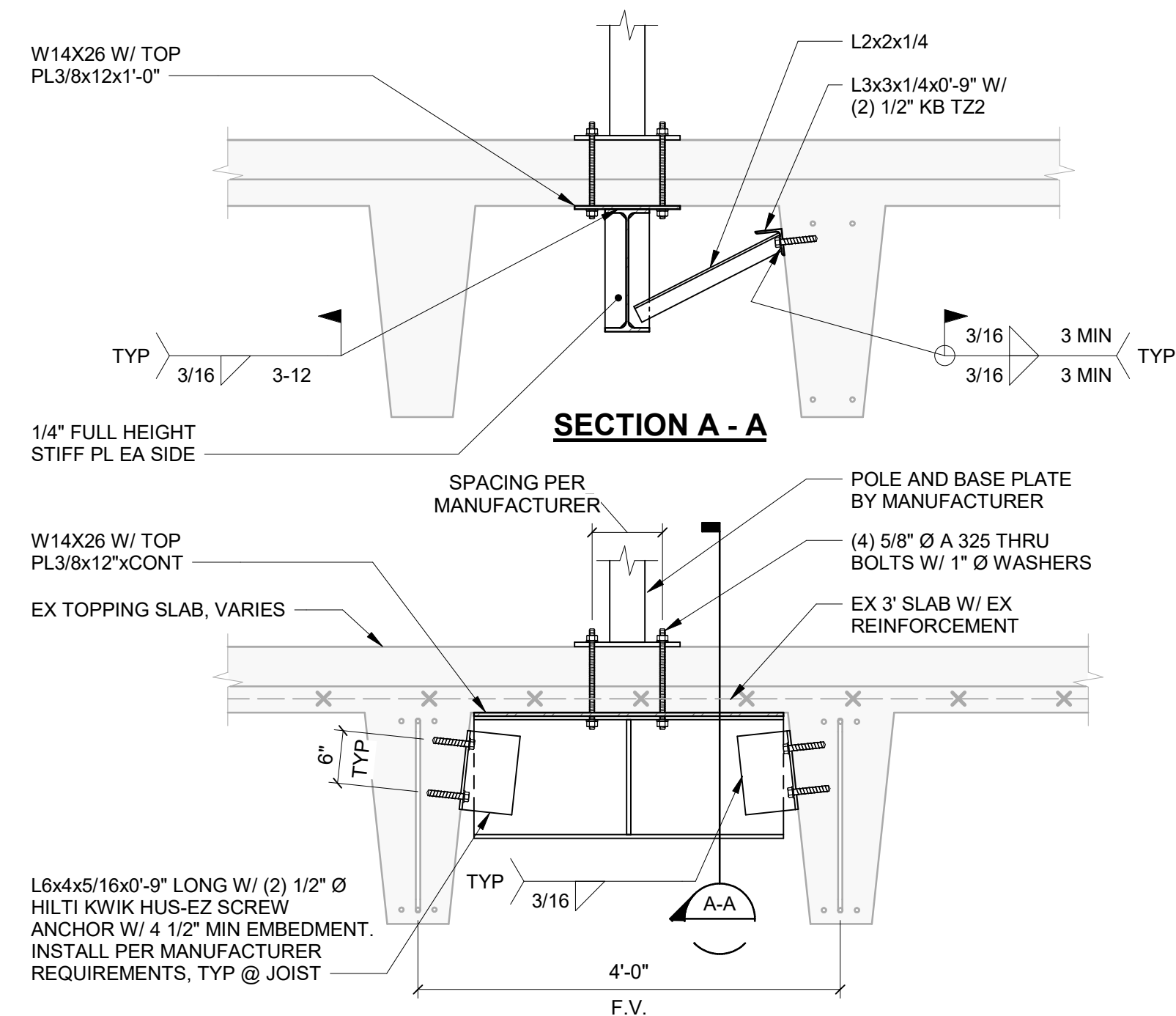
Project Name
Riot Games Seattle - Exterior
Upgrades

Project Number
05.3853.000

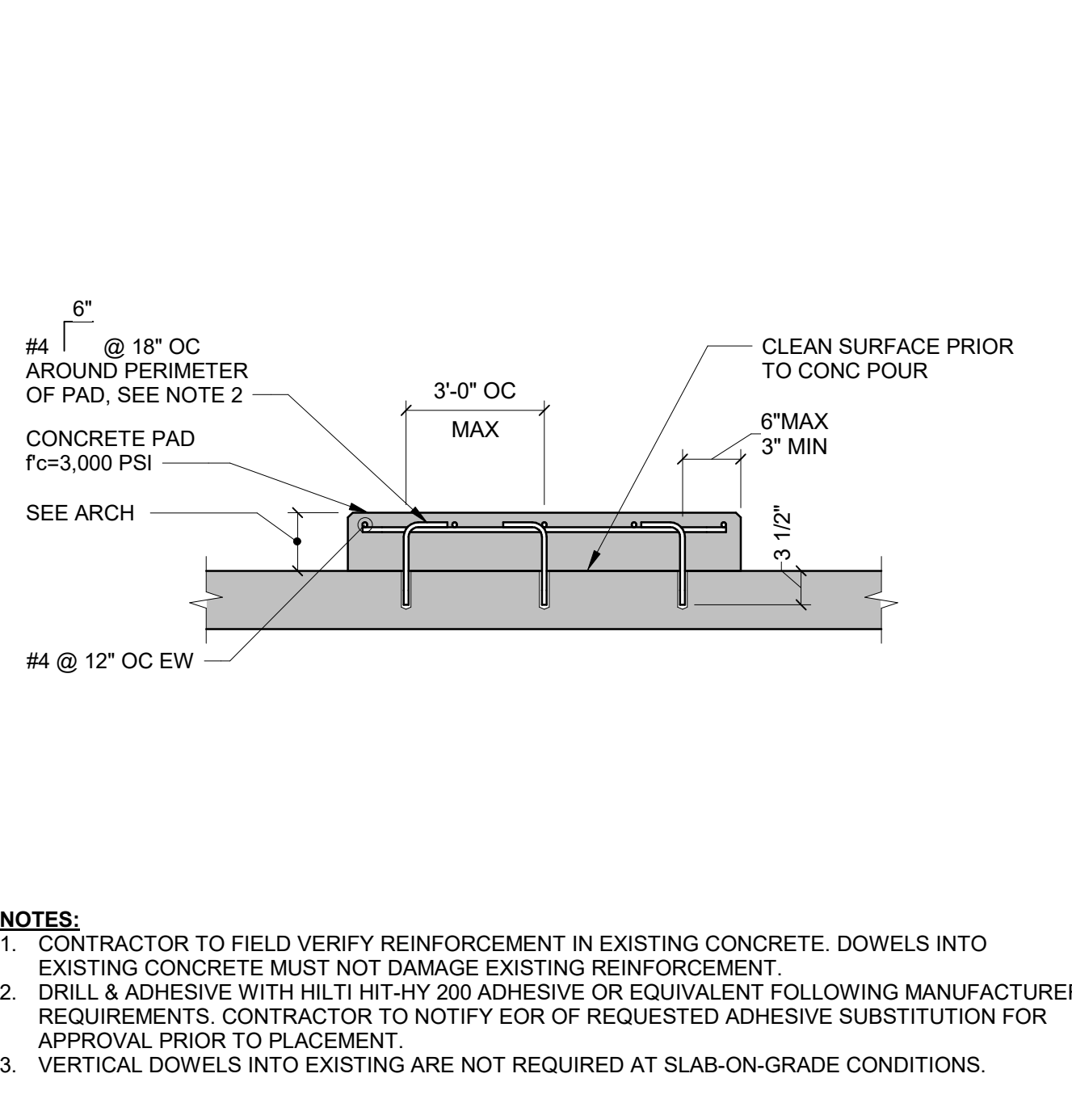
Description
PARKING DETAILS

Scale

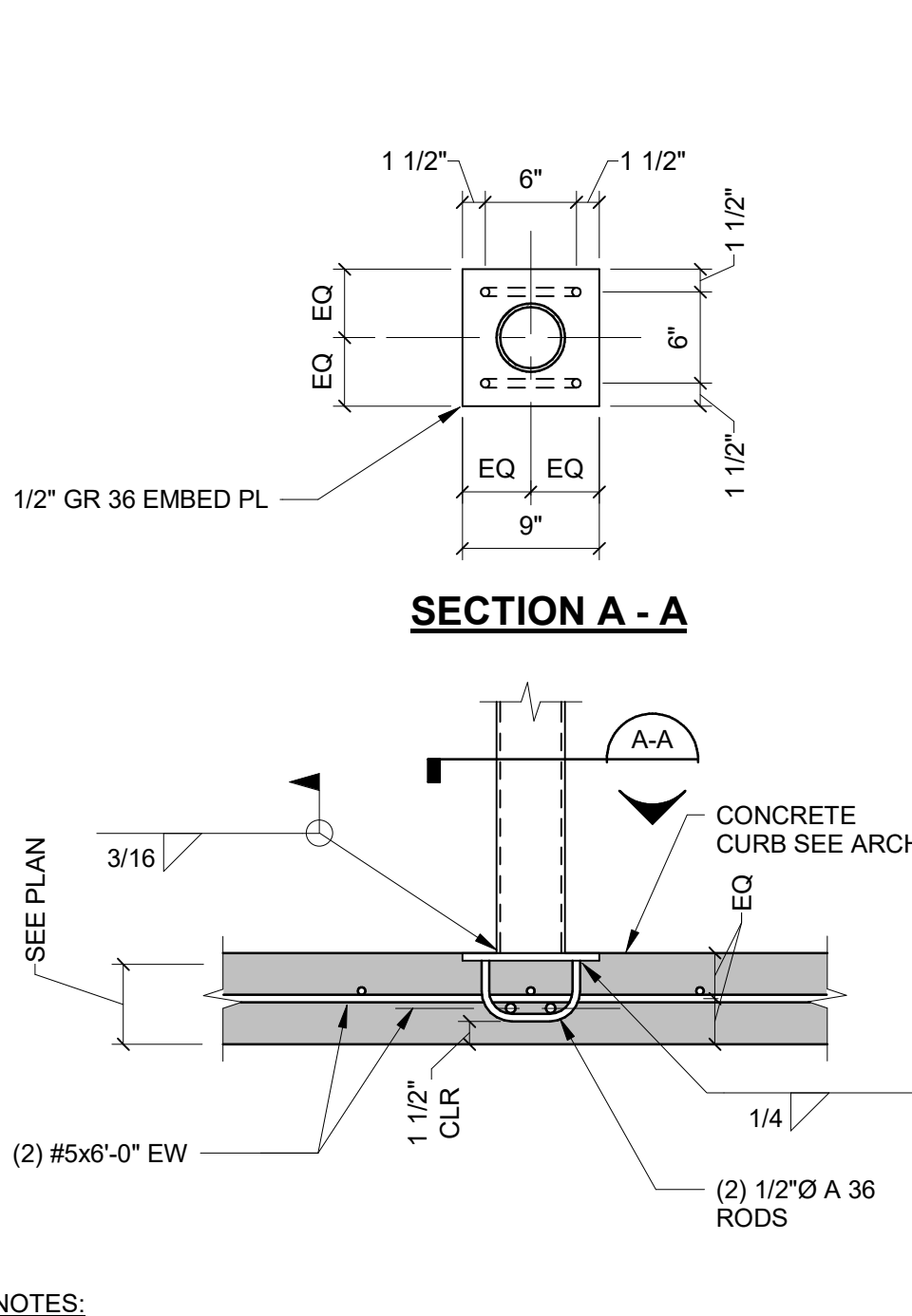
PK6.1



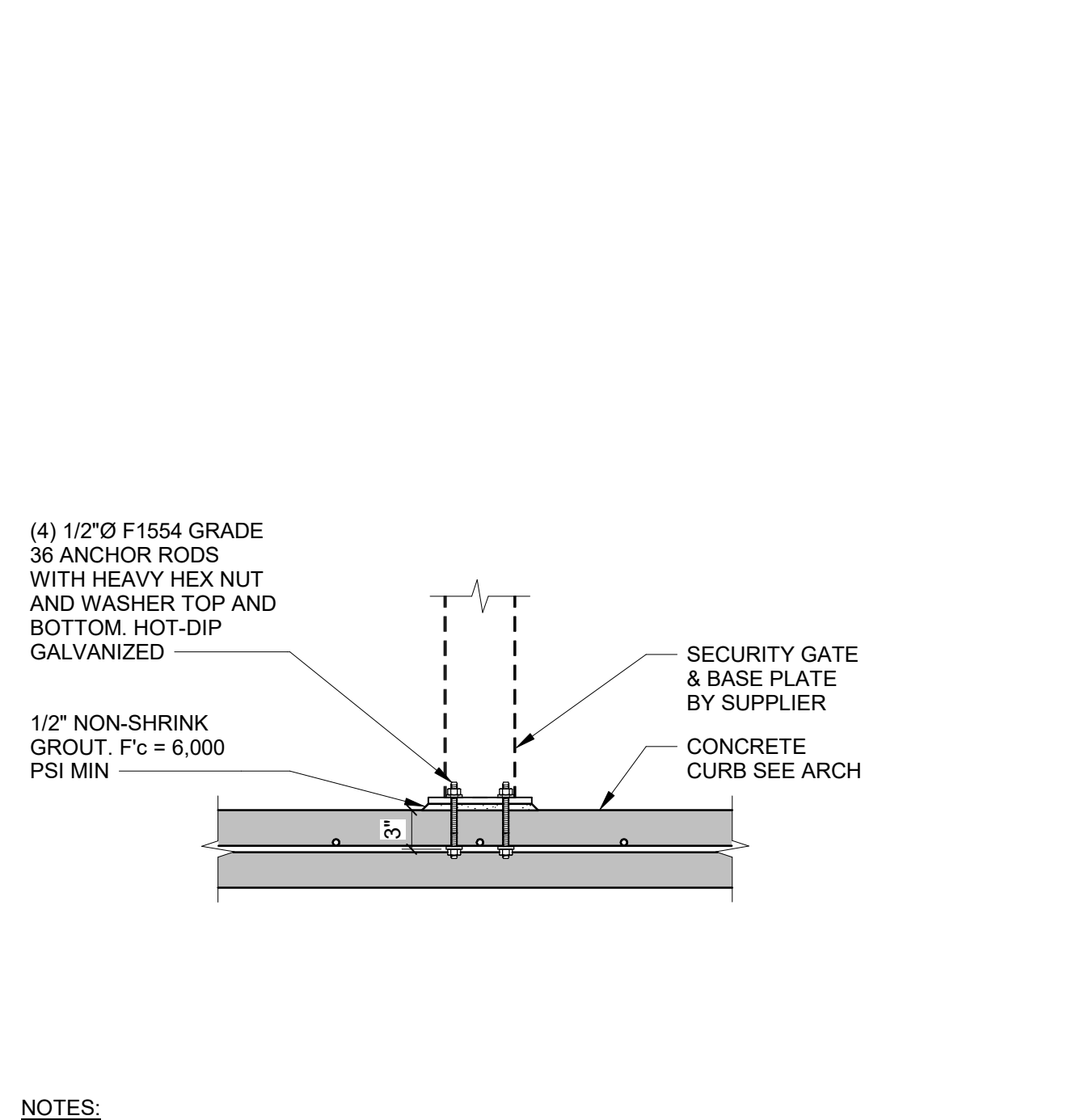
1 LIGHT POLE MOUNT AND EXISTING REINF
NO SCALE



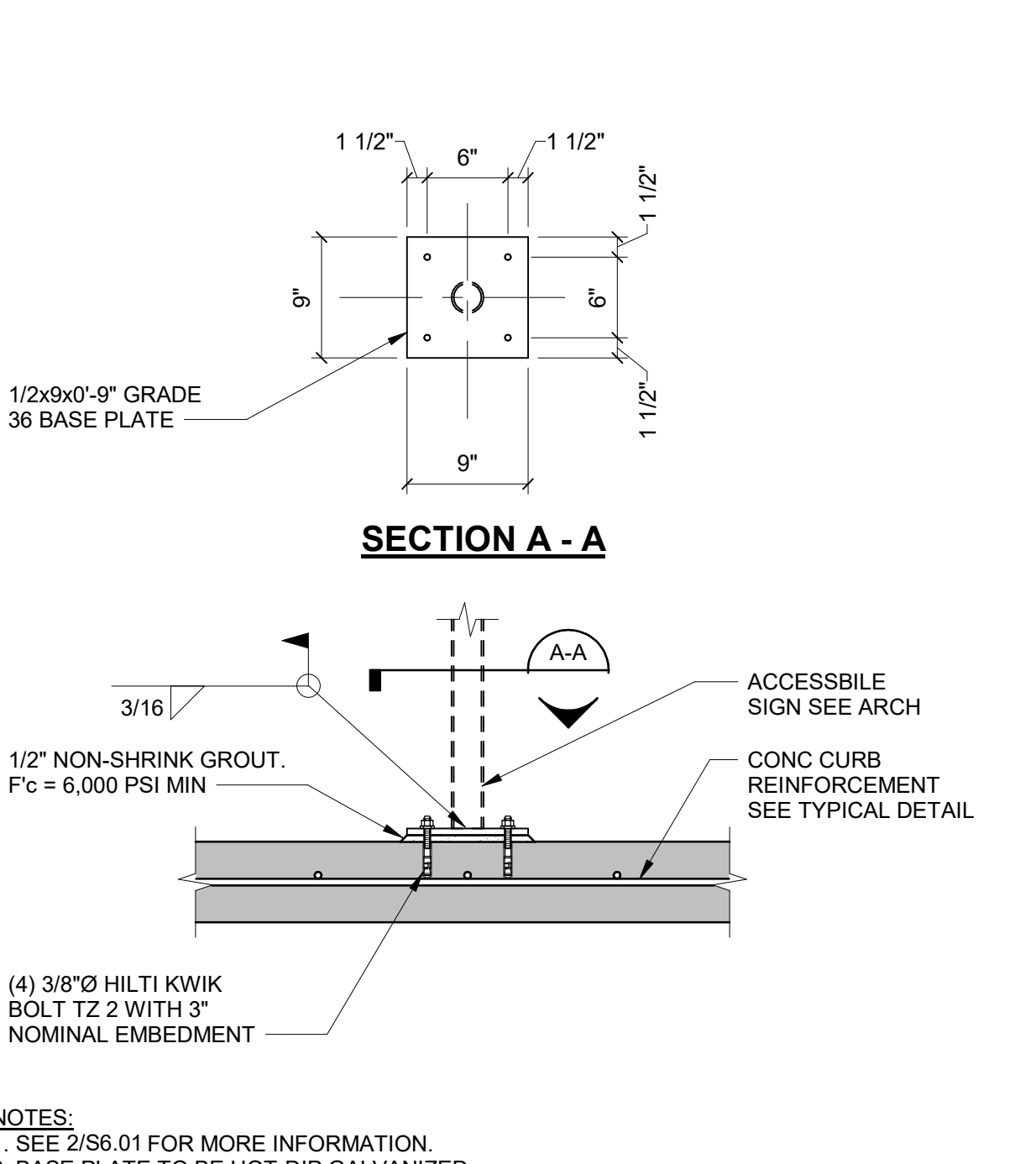
2 TYP CURBS & PADS ON CONCRETE SLABS
NO SCALE



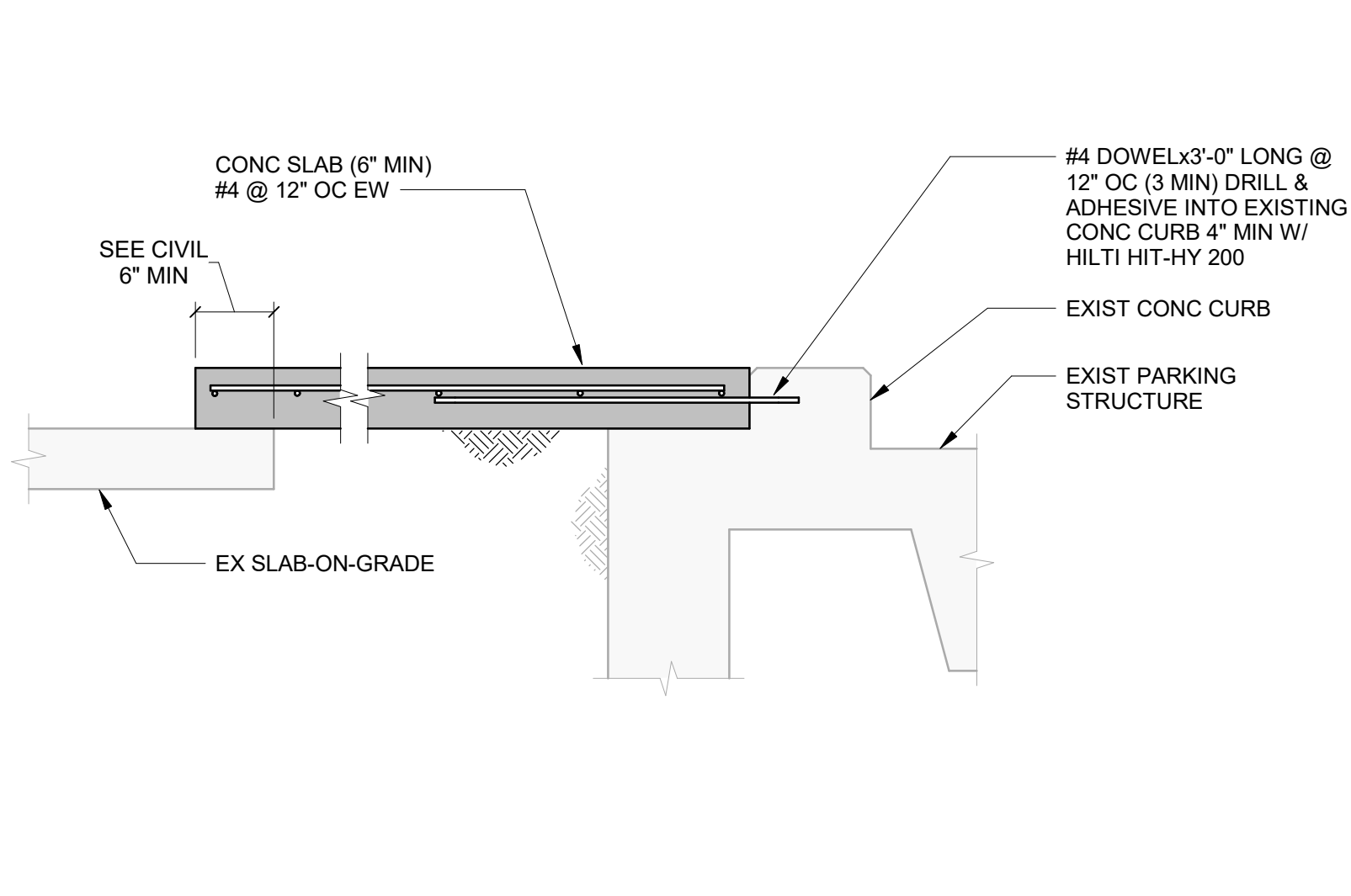
3 BALLARD ATTACHMENT
NO SCALE



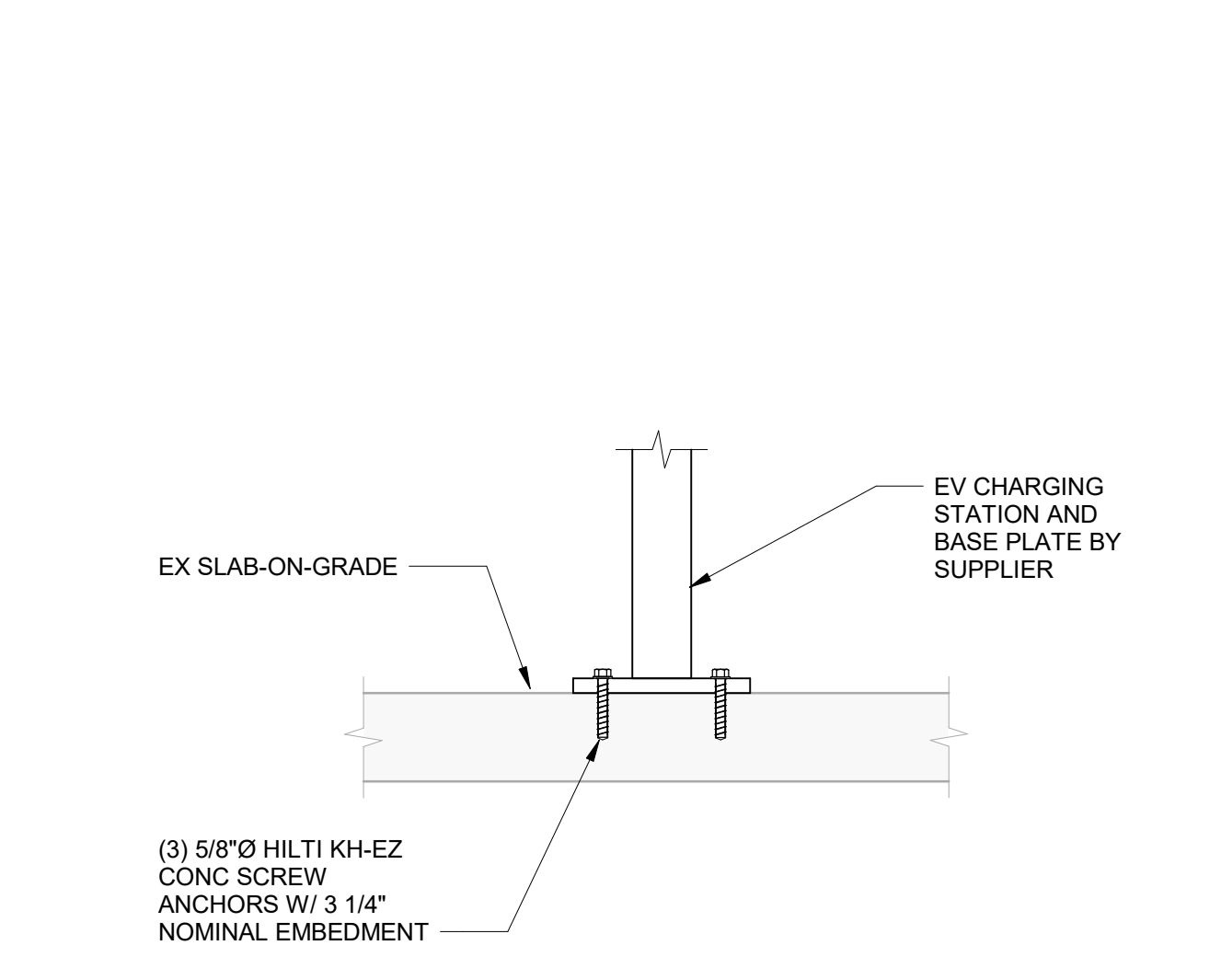
4 SECURITY GATE ATTACHMENT
NO SCALE



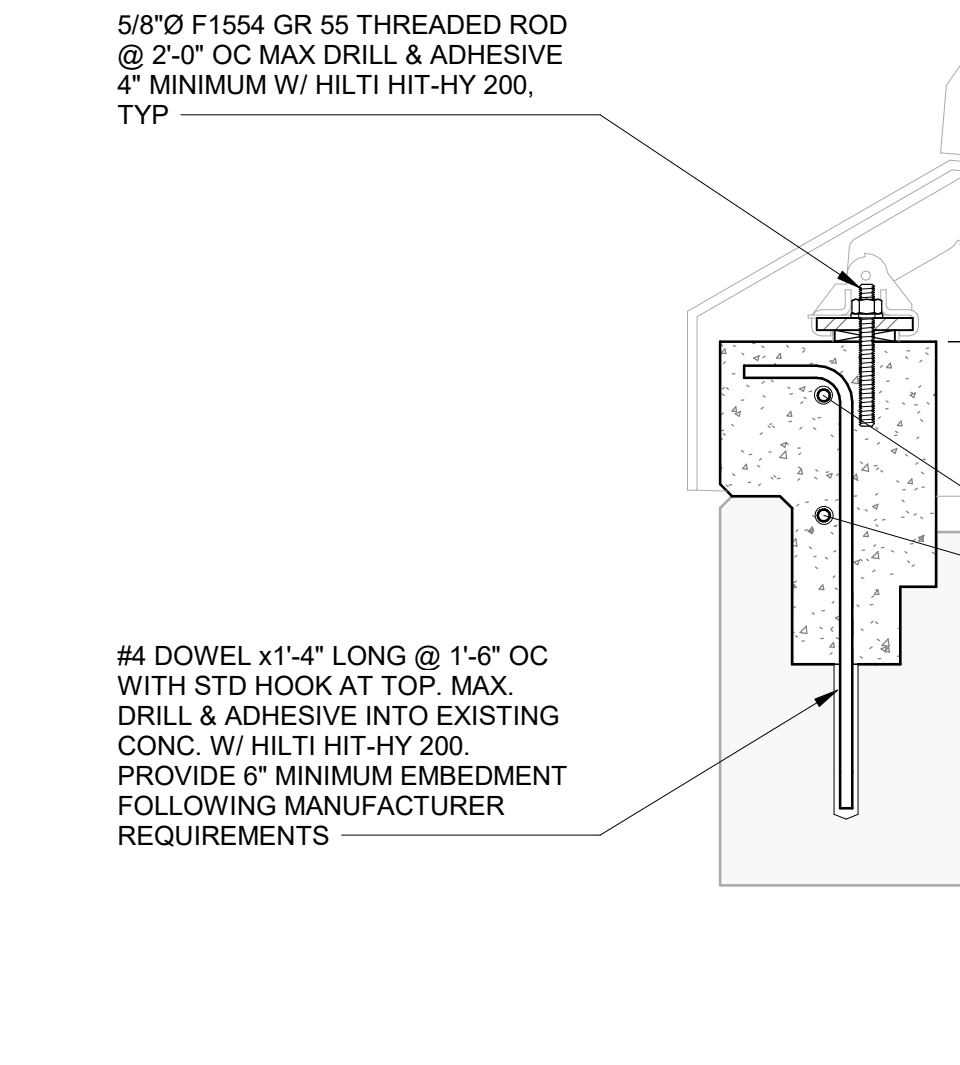
5 ACCESSIBLE SIGNAGE ATTACHMENT
NO SCALE



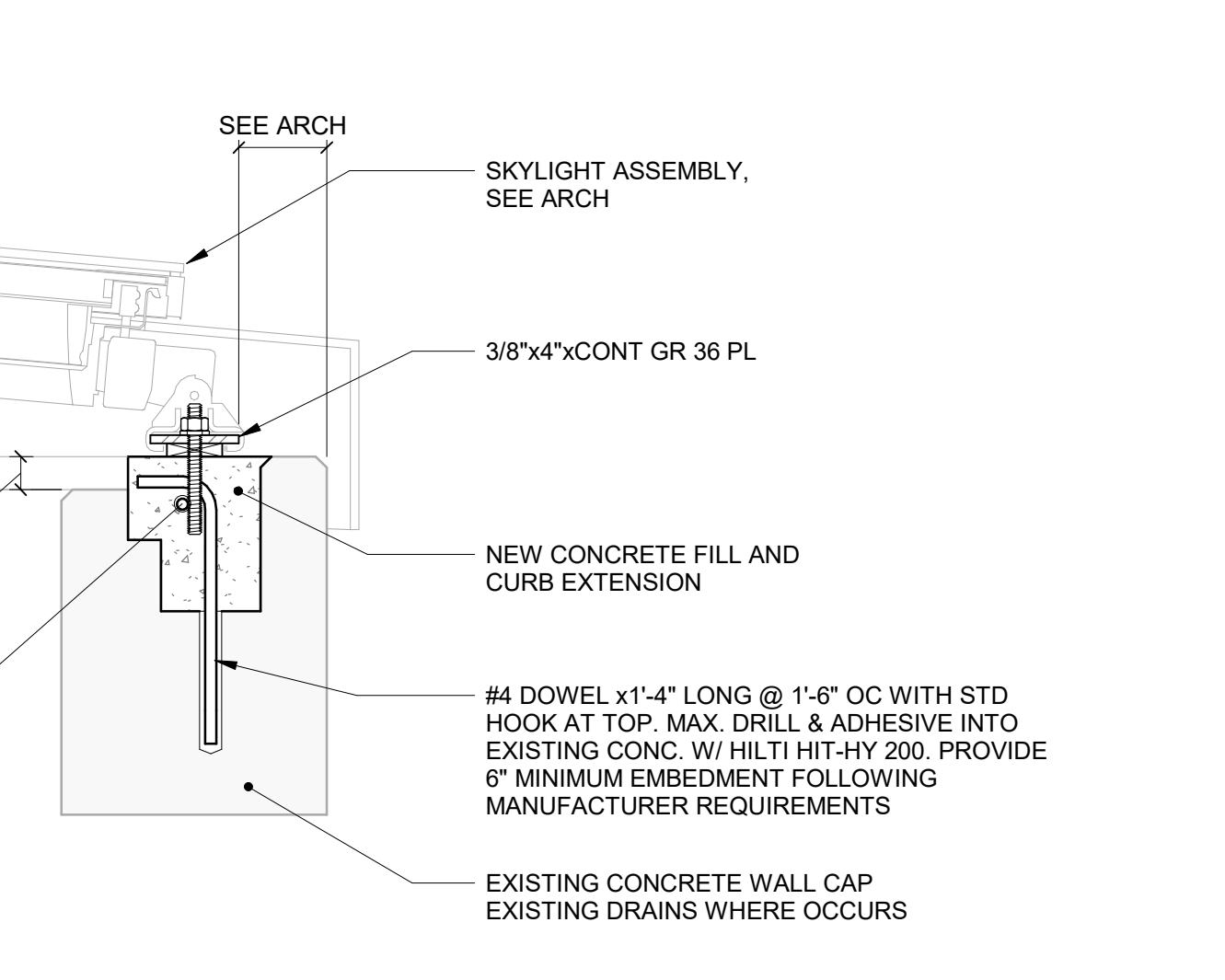
6 DETAIL
NO SCALE



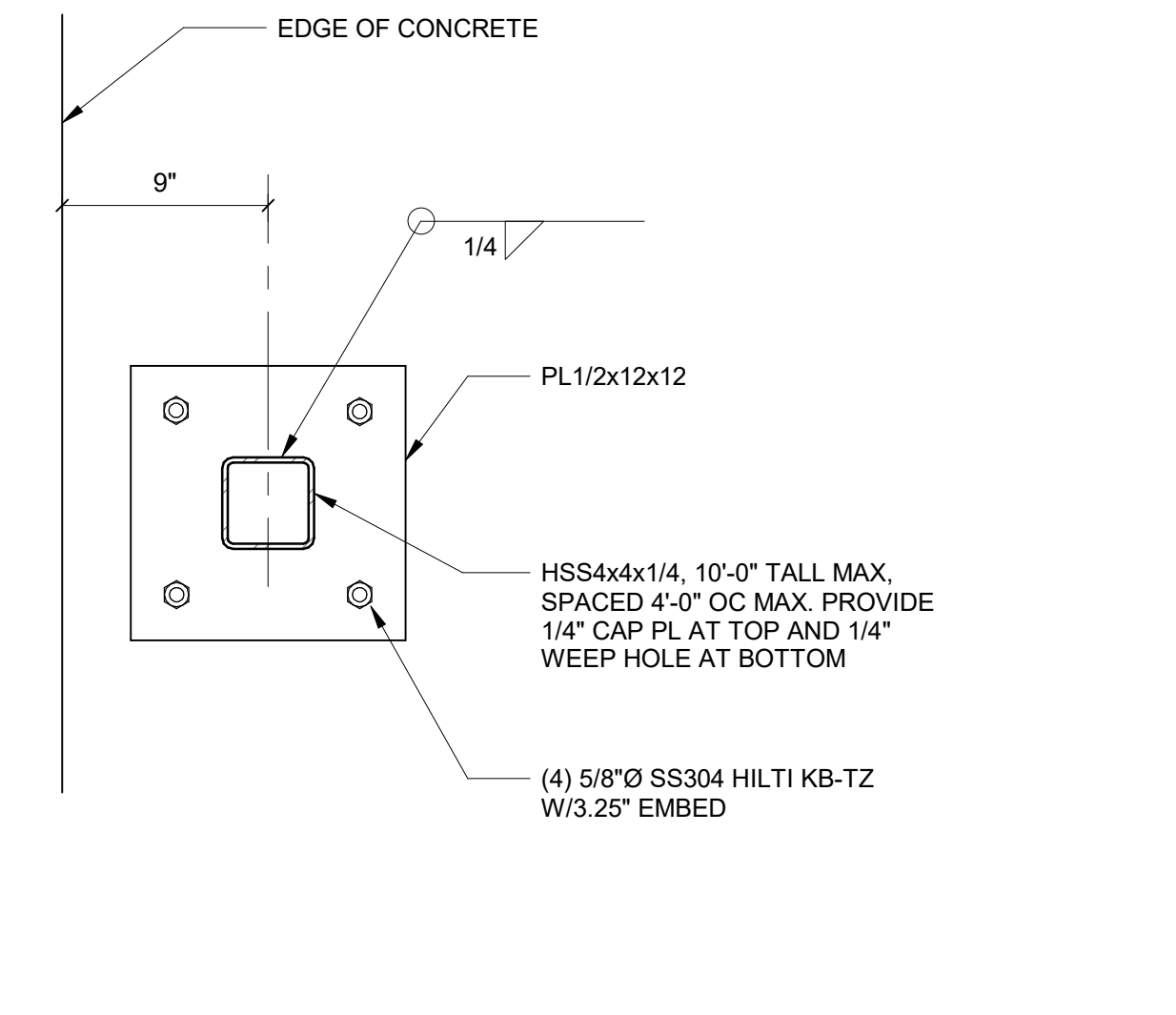
7 EV CHARGING STATION ANCHOR DETAIL
NO SCALE



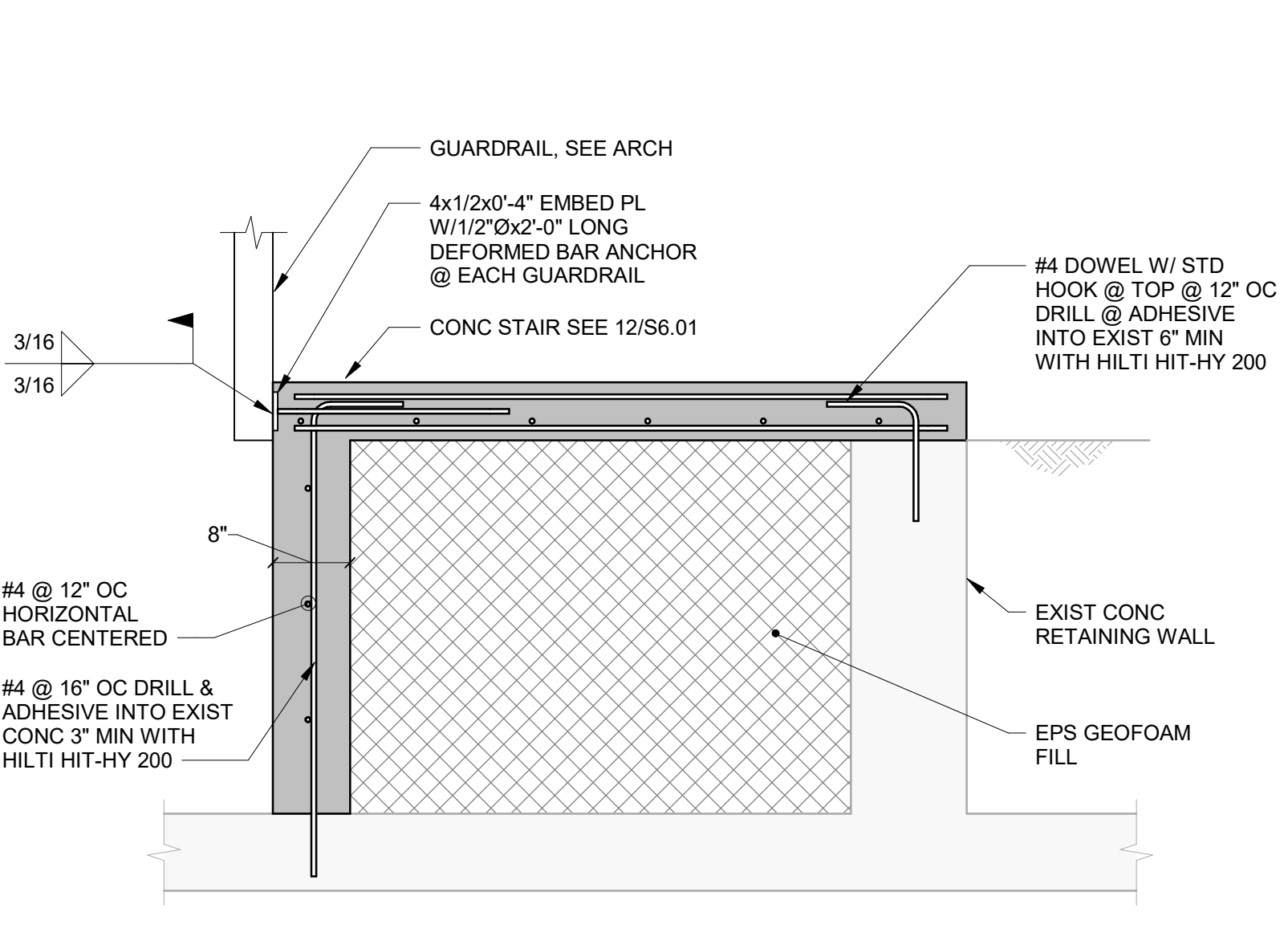
8 SKYLIGHT DETAIL
1 1/2" = 1'-0"



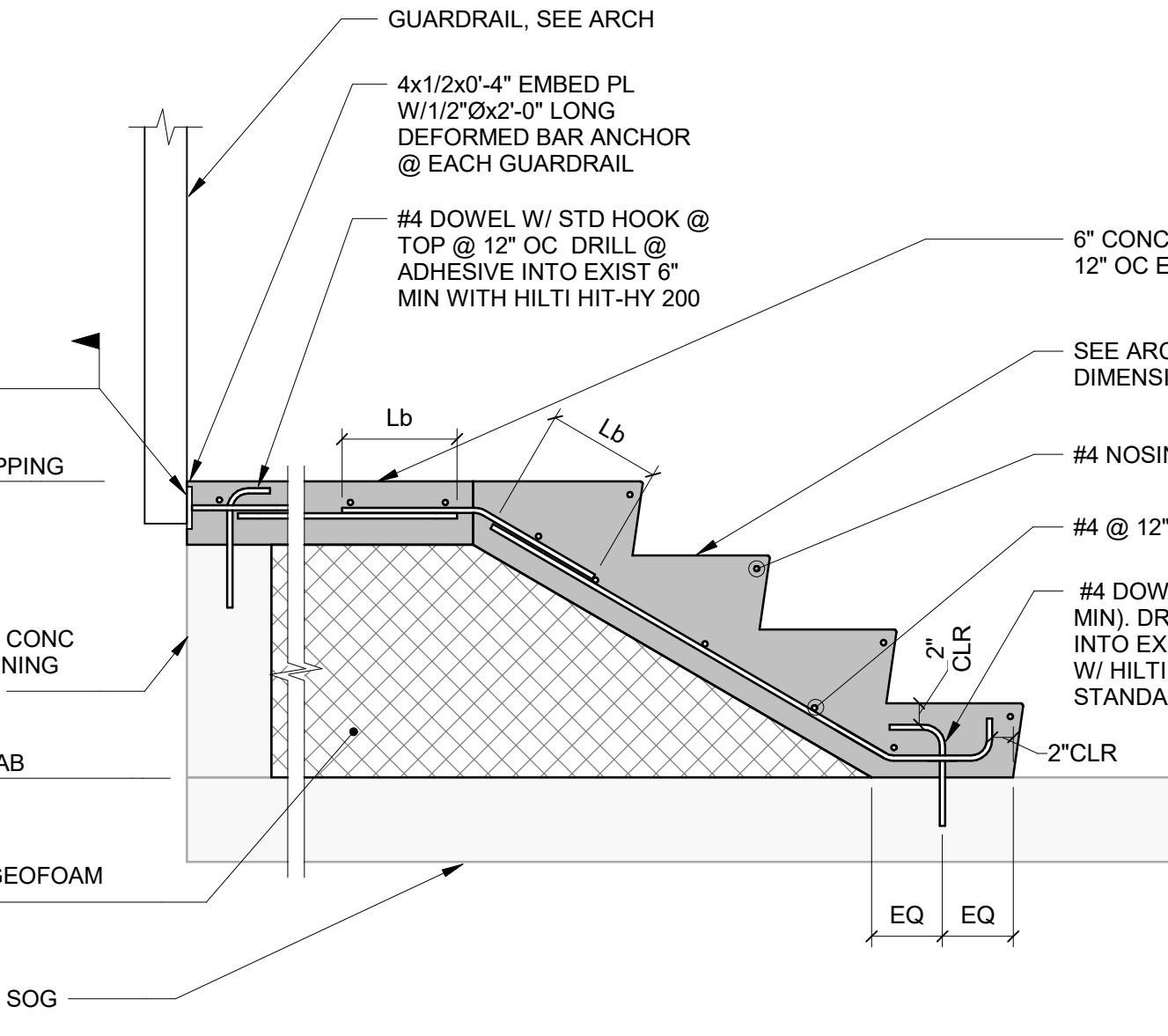
10 GARDEN SCREEN POST
1 1/2" = 1'-0"



15 TYP DOWNTURNED SLAB EDGE DETAIL
NO SCALE



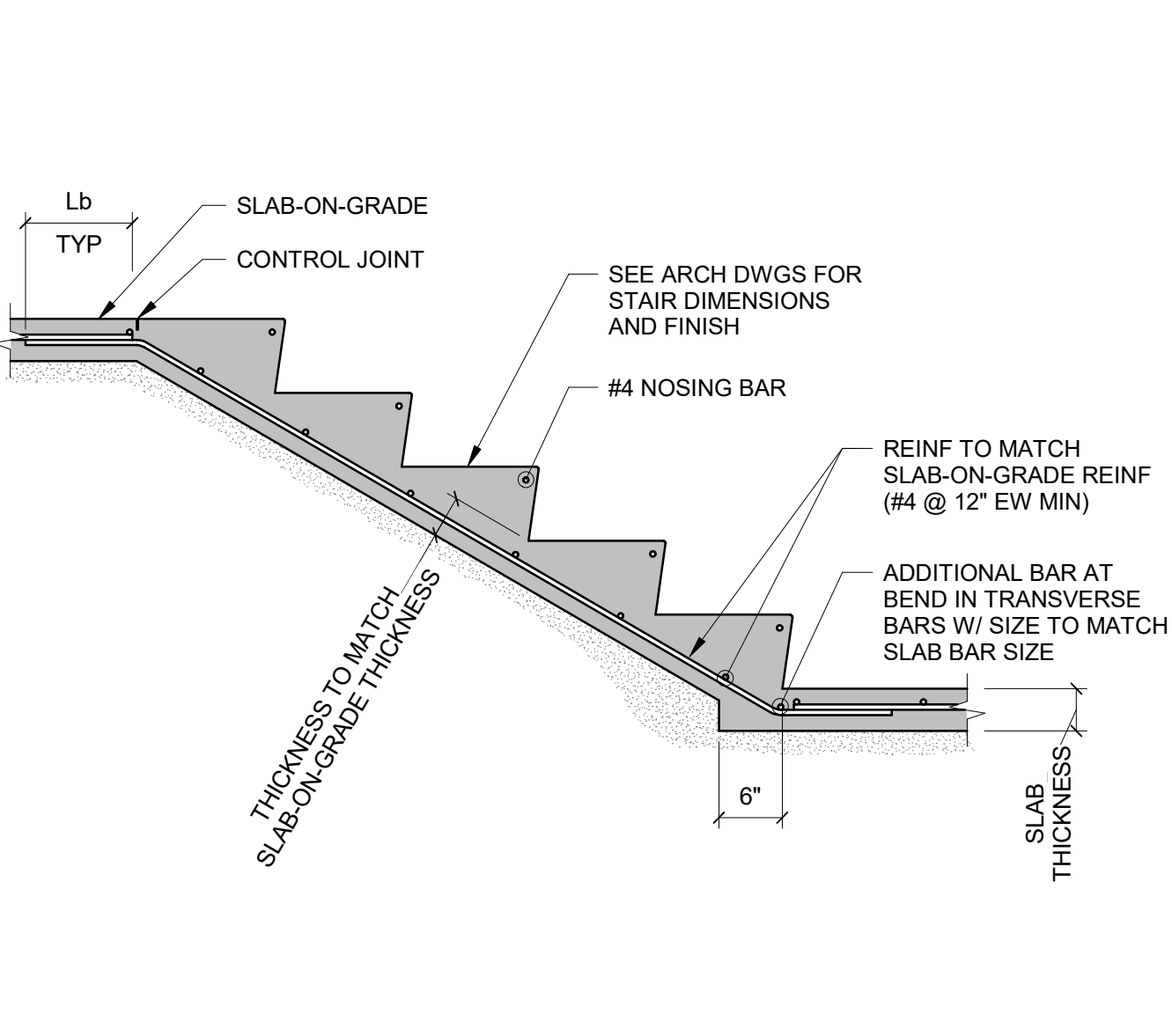
11 DETAIL
NO SCALE



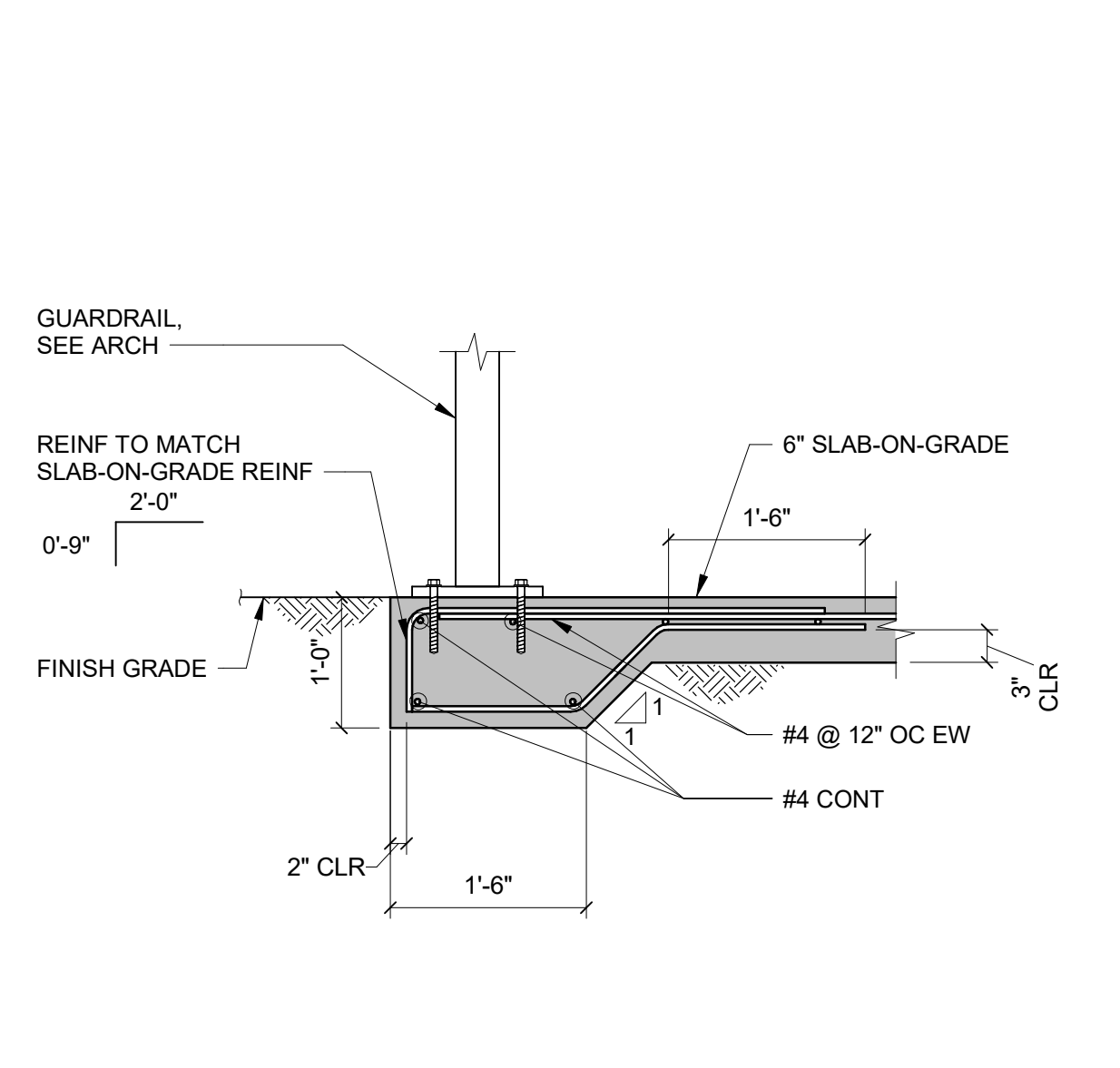
12 STAIR ON EPS GEOFOAM
NO SCALE



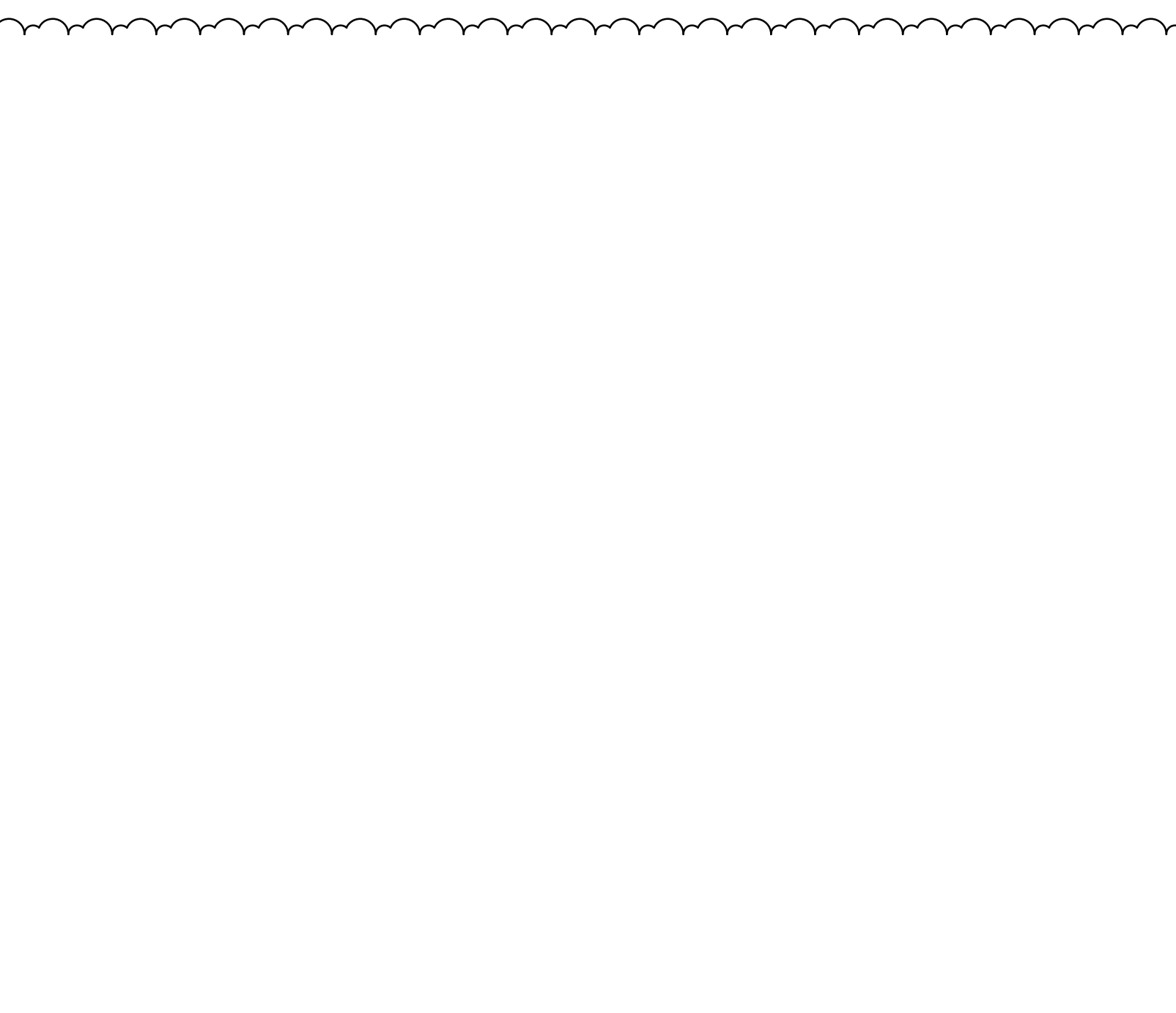
13 NOT USED
NO SCALE



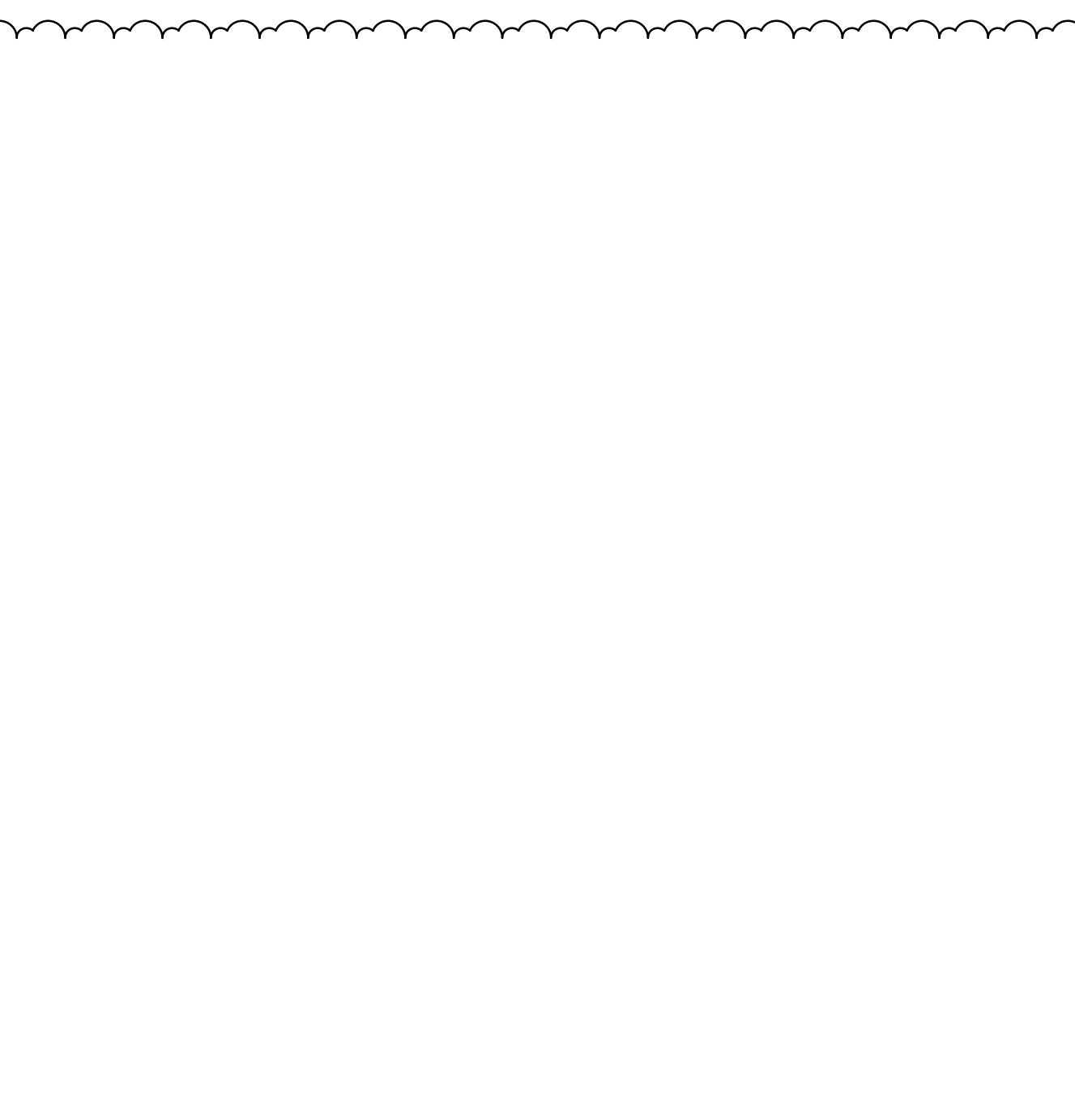
14 TYP STAIR-ON-GRADE
NO SCALE



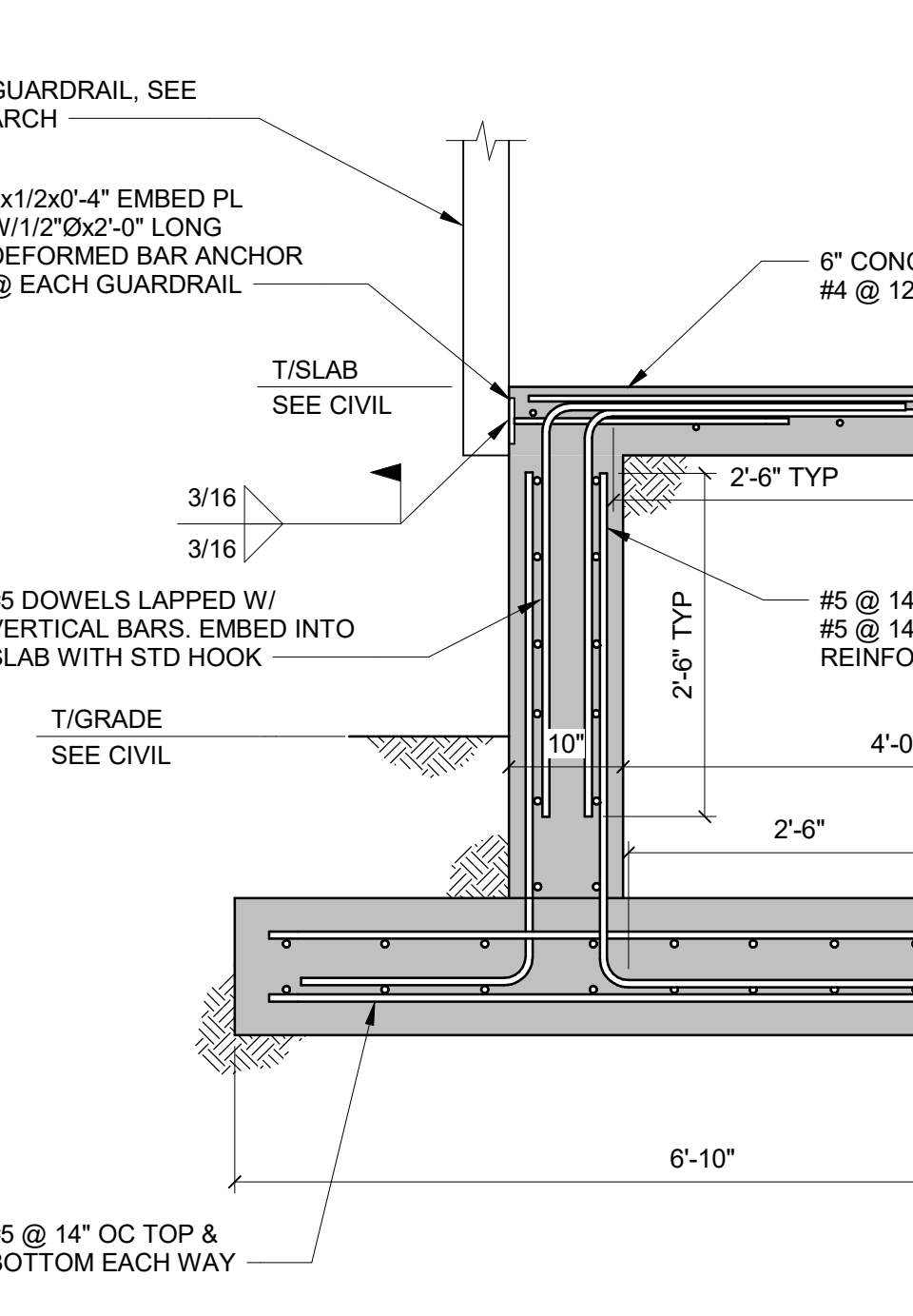
15 TYP DOWNTURNED SLAB EDGE DETAIL
NO SCALE



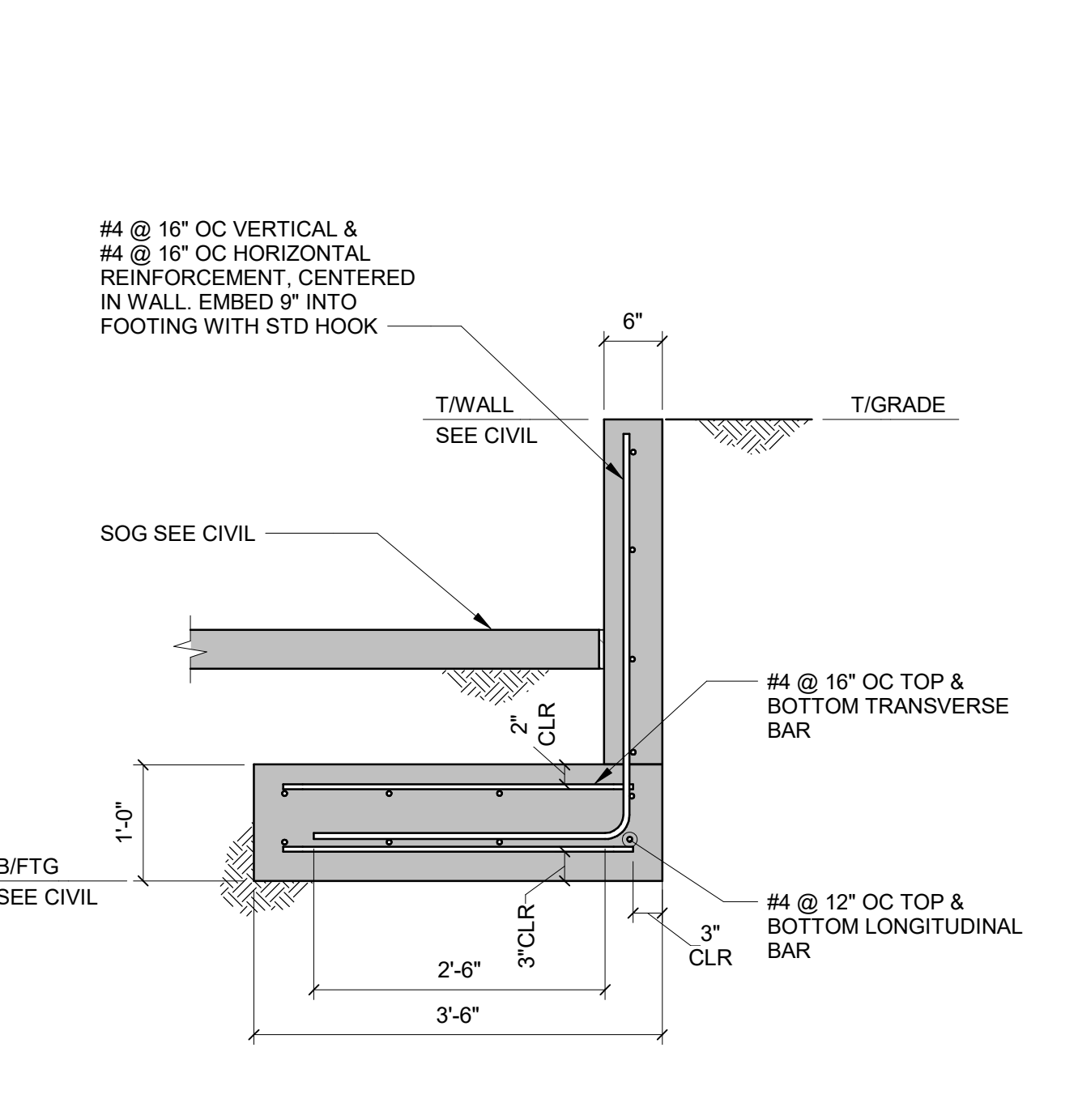
16 NOT USED
NO SCALE



17 NOT USED
NO SCALE



18 RETAINING WALL DETAIL
NO SCALE



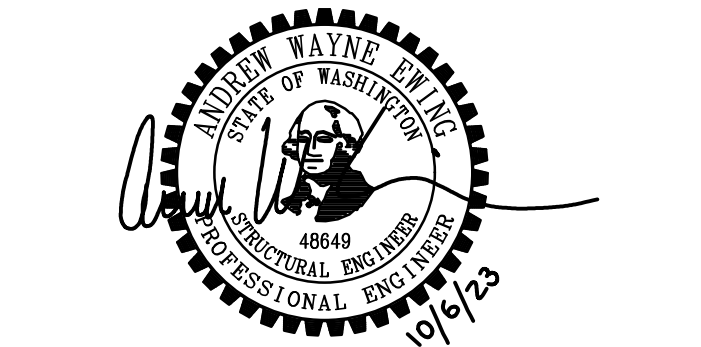
19 RETAINING WALL DETAIL
NO SCALE



20 NOT USED
NO SCALE

Date	Description
5.05.19.23	ISSUE FOR PERMIT
A.10.06.23	PERMIT RESPONSE

Seal / Signature



Project Name
Riot Games Seattle - Exterior Upgrades
Project Number
2200064
Description
PARKING DETAILS

Scale
As indicated

S6.01

10/20/23, 10:57 AM - B:\1\2023\10\20\23\100 - Riot Games Seattle\Structure - 10.20.23\100 - RPT - R21.rvt